

Project:

Address:

Client:

Drawing Issue:

Issue Date:

Second Dwelling on a Lot + Associated Subdivision

7 Ryrie St. Healesville

Jessica and Simon Terpstra

Issue For Planning Permit

December 2024

Drawing List	
DWG No.	Drawing Name
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P005	Indicative Subdivision Plan
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P009	Site Plan Ground Floor

Drawing List	
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P015	Unit 2 Elevations
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P017	Landscaping Plan
P018	Garden Area Plan

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DWG No.	Drawing Name
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P022	Shadow Diagrams 12PM
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Drawing List	
DWG No.	Drawing Name
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P036	Stormwater Layout Plan

Drawing List	
DWG No.	Drawing Name
P037	Views to and from the site
P038	Examples of two storey dwellings
P039	Examples of two storey dwellings 2
P040	Examples of two storey dwellings 3



Roof Sheetting

Steel sheet corrugated profile with colorbond "windspray" Finish.



Dulux "Feathersoft"

James hardie Linea Wall Cladding with Feathersoft paint finish.



Timber Cladding

Vertical Timber cladding.



Sandstone Cladding

Sandstone wall cladding.




Timber Window Frames & Timber Battens

Timber framed windows with vivid white trims.

Materials Legend

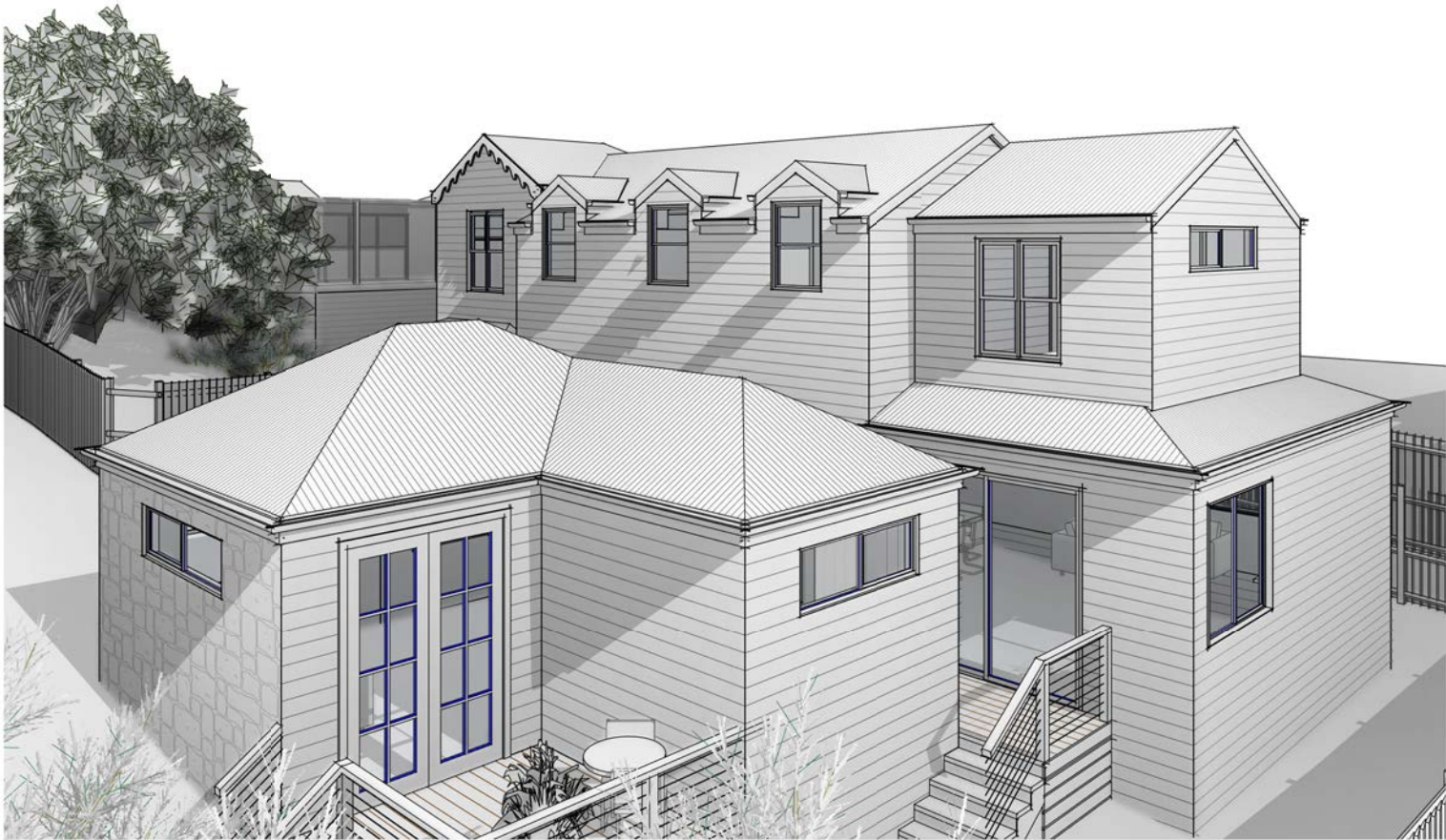
Scale: 1 : 100



Dulux "Grey Port"

James hardie "Hardieflex" Wall Cladding

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Revision Schedule		
Revision	Issue:	Date
K	Issue for Client Comment	19/08/2024
L	Issue for Client Comment	29/08/2024
M	Issue for Client Comment	03/09/2024
N	Issue For Planning Permit	11/09/2024
O	Issue For Planning Permit	03/12/2024
P	Issue For Planning Permit	03/03/2025

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National



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CLIENT:

Jessica and Simon Terpstra

PROJECT:

Second Dwelling on a Lot + Associated Subdivision: 23-016

ADDRESS:

7 Ryrie St. Healesville

DWG TITLE:

Cover

DATE:

December 2024

DRAWN BY:

PM

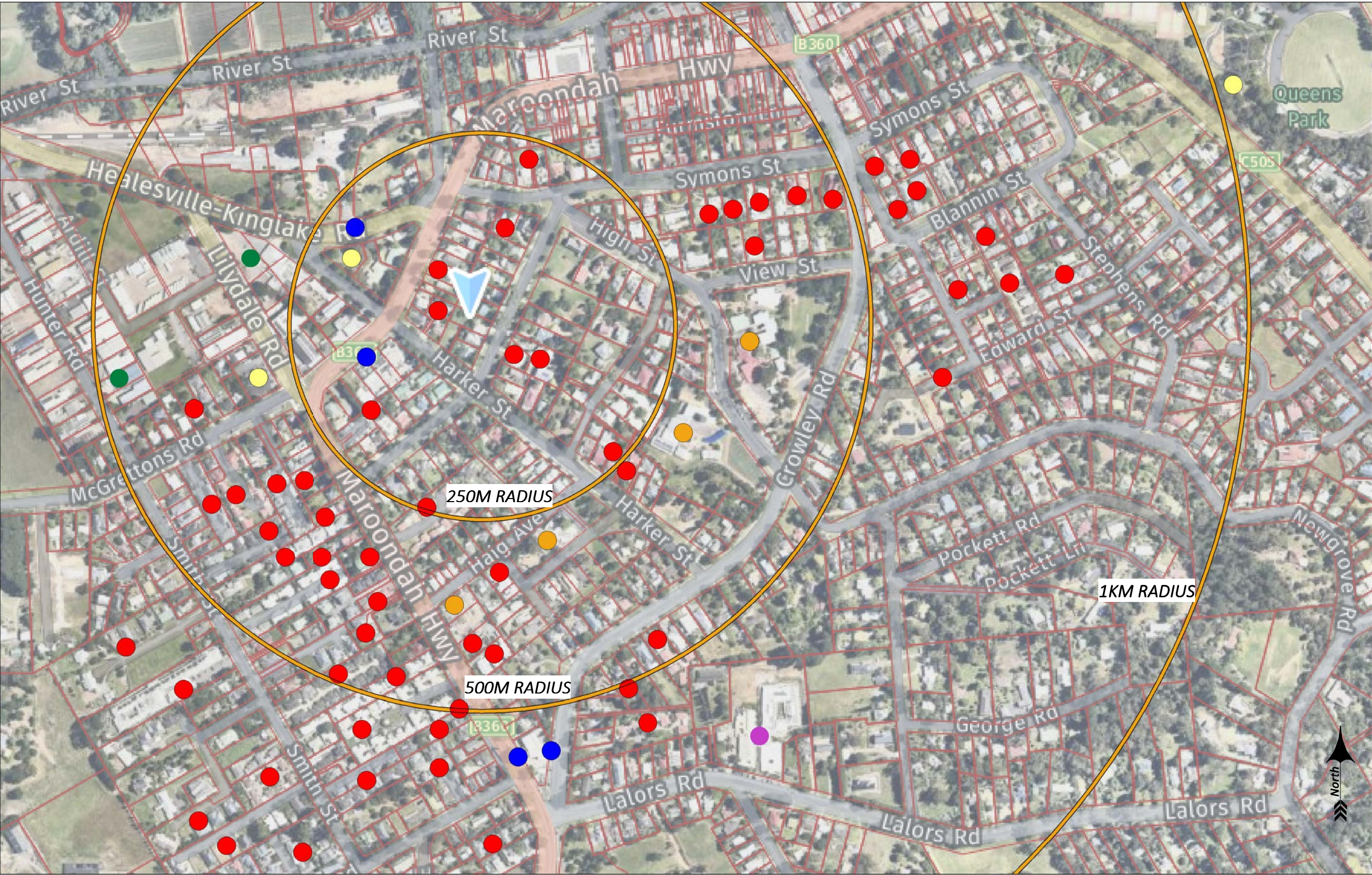
SCALE @ A3:

1 : 100

SHEET No:

P001





**Legend:**

- Supermarket & Food Retailers
- Community Services
- Medical Centres & Health Services
- Schools & Early Learning Centres
- Public Transport (Bus Stops)
- Reserve Park, Public Park & Recreational Centres / Services
- Unit Developments

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Area Analysis

Scale: 1 : 5000

Planning Issue  
Not for Construction

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**CLIENT:** Jessica and Simon Terpstra  
**PROJECT:** Second Dwelling on a Lot + Associated Subdivision: 23-016  
**ADDRESS:** 7 Ryrie St. Healesville  
**DWG TITLE:** Area Analysis  
**DATE:** December 2024 **DRAWN BY:** PM **SCALE @ A3:** 1 : 5000

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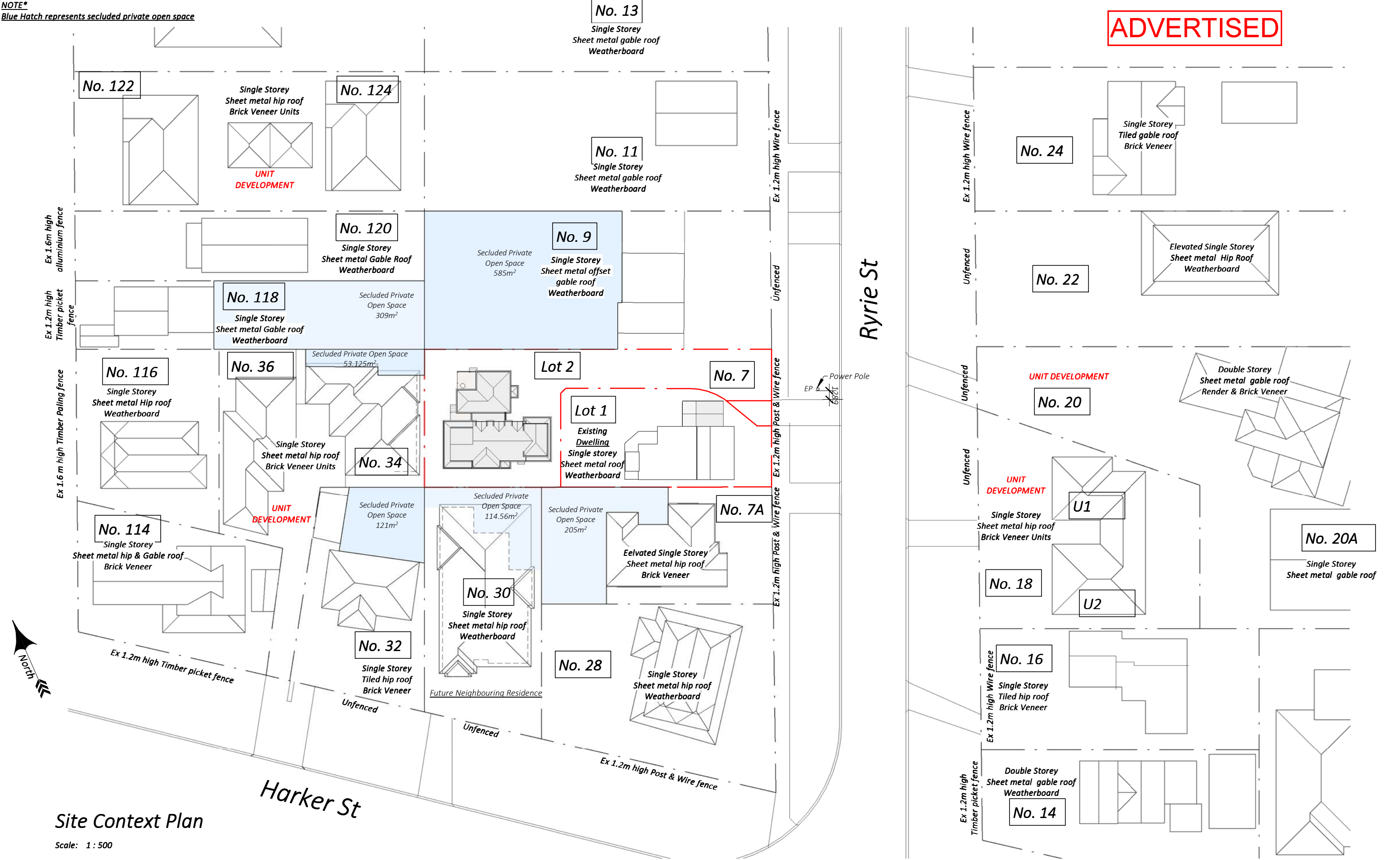
**SHEET No:**  
**P002**







NOTE\*  
Blue Hatch represents secluded private open space



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CLIENT: Jessica and Simon Terpstra

PROJECT: Second Dwelling on a Lot + Associated Subdivision: 23-016

ADDRESS: 7 Ryrie St. Healesville

DWG TITLE: Site Context

DATE: December 2024

DRAWN BY: PM

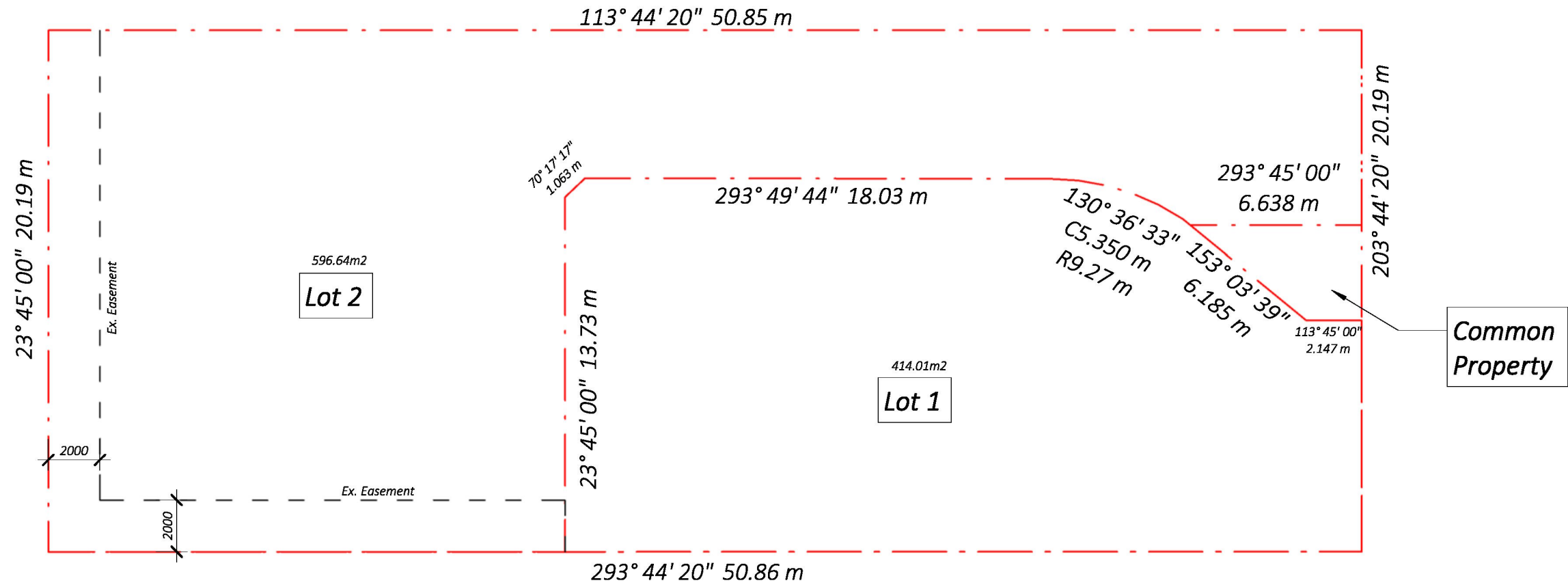
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SHEET No:

P004





## Indicative Subdivision Plan

Scale: 1 : 200

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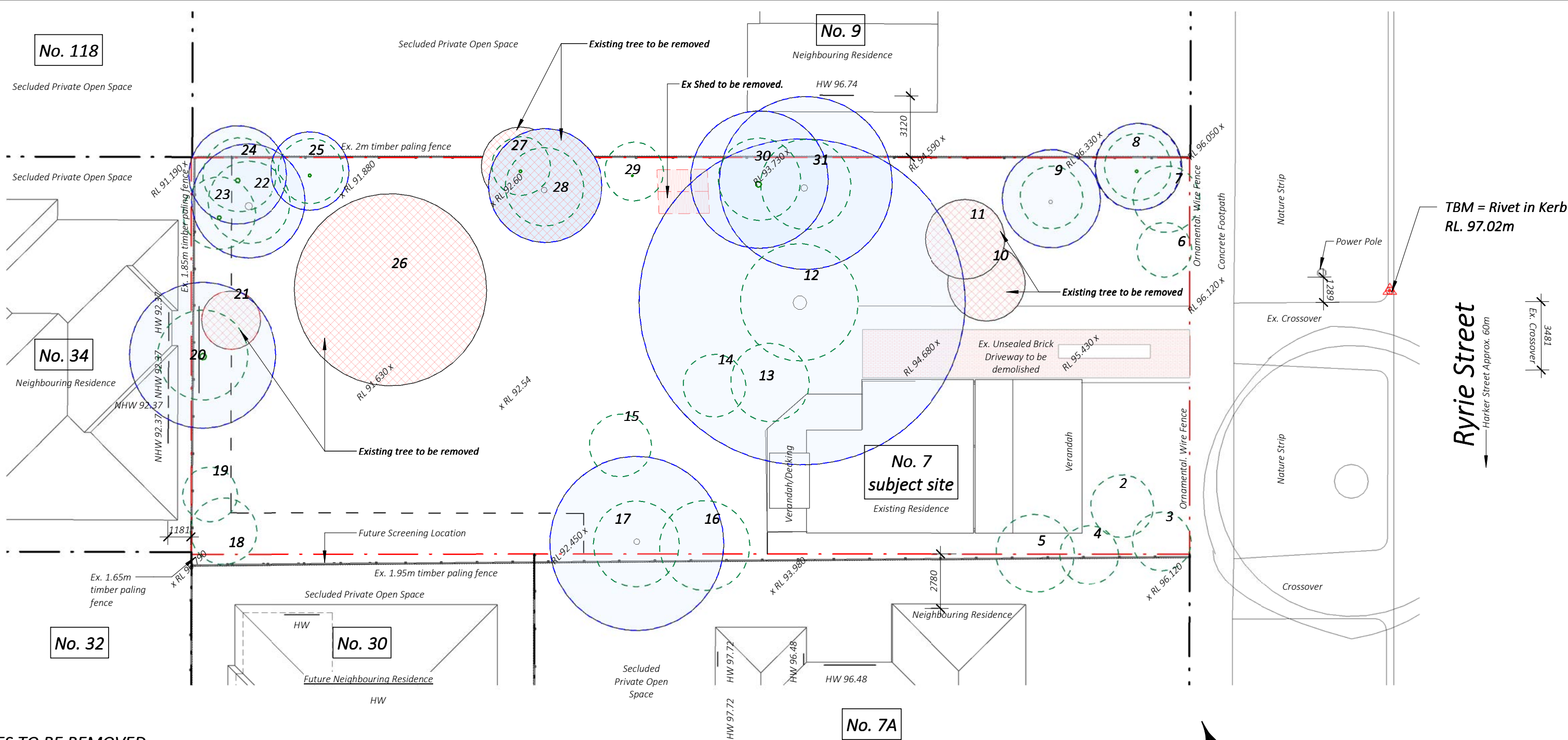
CLIENT: Jessica and Simon Terpstra  
PROJECT: Second Dwelling on a Lot + Associated Subdivision: 23-016  
ADDRESS: 7 Ryrie St. Healesville  
DWG TITLE: Indicative Subdivision Plan  
DATE: December 2024 DRAWN BY: PM SCALE @ A3: 1 : 200

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SHEET No:

P005





TREES TO BE REMOVED

10, 11, 21, 26, 27, 28

Site - Existing

Scale: 1 : 200

Legend:

- = Tree Protection Zone
- - - = Structural Root Zone
- = Protected Tree
- = Existing trees to be removed
- - - = Services
- HW = Habitable Window
- NHW = Non Habitable Window

Area Schedule (Existing)	
Name	Area
Ex. Dwelling	81.45 m <sup>2</sup>
Ex. Site	1026.82 m <sup>2</sup>
Existing Verandas	21.38 m <sup>2</sup>

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Area Schedule (New Construction)	
Name	Area
Porch	1.63 m <sup>2</sup>
U1 Carport	21.00 m <sup>2</sup>
U2 First Floor	80.05 m <sup>2</sup>
U2 Garage	23.01 m <sup>2</sup>
U2 Ground Floor	122.09 m <sup>2</sup>
U2 North Deck	7.80 m <sup>2</sup>
U2 South Deck	4.43 m <sup>2</sup>
Grand total	260.01 m <sup>2</sup>

Area Schedule (External)	
Name	Area
Combined Garden Area	531.00 m <sup>2</sup>
Common Property	16.17 m <sup>2</sup>
Lot 1 Garden Area	265.88 m <sup>2</sup>
Lot 1 Site	414.01 m <sup>2</sup>
Lot 1 Site Coverage	123.83 m <sup>2</sup>
Lot 2 Garden Area	265.13 m <sup>2</sup>
Lot 2 Site	596.64 m <sup>2</sup>
Lot 2 Site Coverage	146.73 m <sup>2</sup>
Permeability	756.26 m <sup>2</sup>
Site Total	1026.82 m <sup>2</sup>

Site Notes:

Levels shown are approximate only & should be checked on site prior to any works commencing. Refer to site survey plan by "Smith Land Surveyors Pty Ltd" Job no. 2023-0513.

Builder to allow to cut, fill & grade site as required to achieve floor levels as proposed. Floor levels shown are finished floor levels.

All paving & ground levels are to grade away from the building at a 1:100 gradient.

Downpipes & all stormwater collection points are to be connected to the legal point of discharge to the satisfaction of the local authorities.

Refer to Arborists report for further info regarding tree retention value by "Aarboriculture" Job no. 20230720.

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**ADDRESS:** 7 Ryrie St. Healesville

**DWG TITLE:** Existing Site Plan

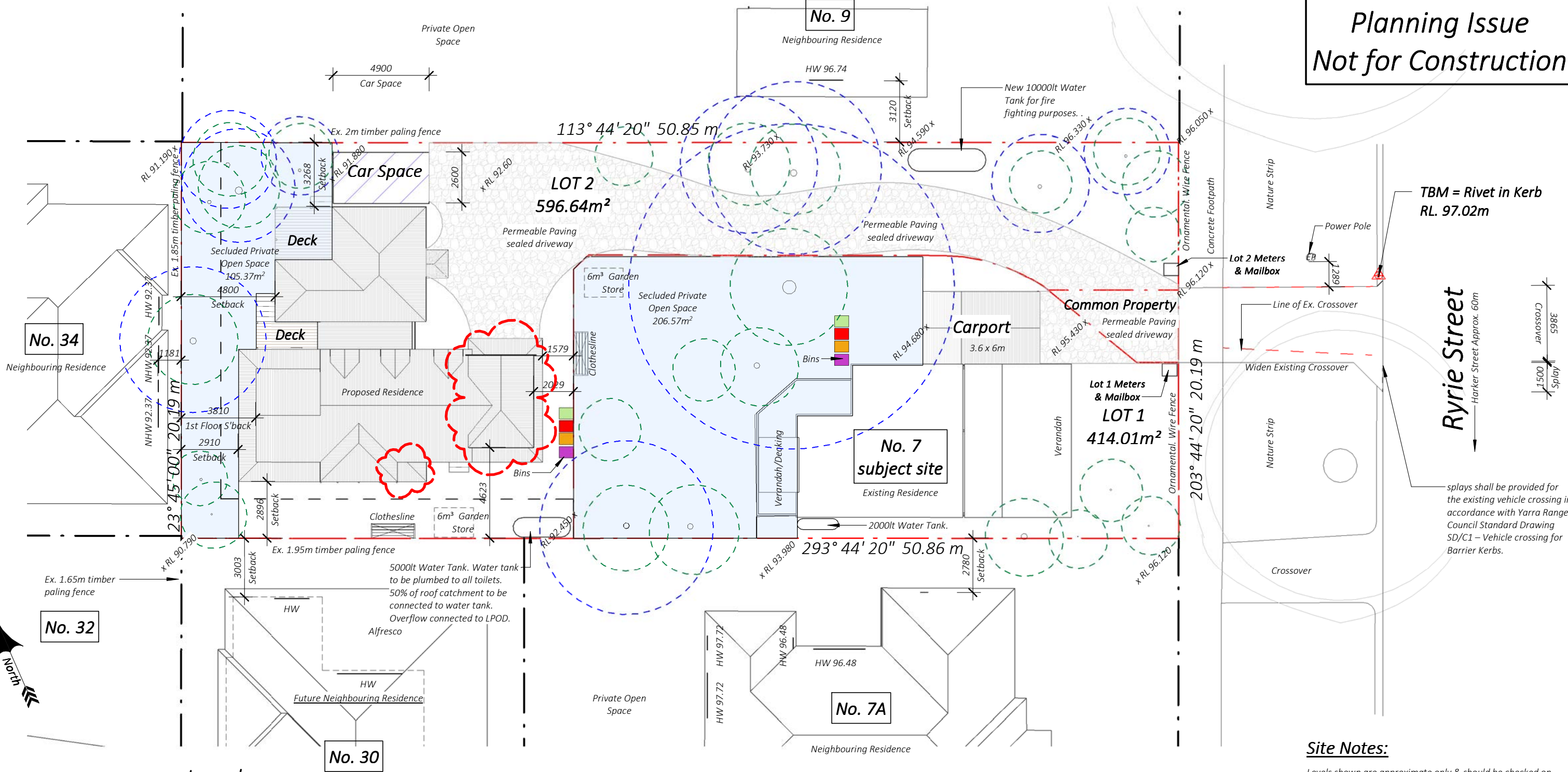
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**SHEET No:**

**P006**





Site - Proposed

Scale: 1 : 200

Legend:

- - - = Tree Protection Zone
- - - = Structural Root Zone
- = Protected Tree
- = Existing trees to be removed
- - - = Services
- HW = Habitable Window
- NHW = Non Habitable Window

Area Schedule (Existing)	
Name	Area
Ex. Dwelling	81.45 m <sup>2</sup>
Ex. Site	1026.82 m <sup>2</sup>
Existing Verandas	21.38 m <sup>2</sup>

Proposed Site Permeability : 756.64m<sup>2</sup> = 73.69%  
U1 Proposed Site Coverage : 123.83m<sup>2</sup> = 29.91%  
U2 Proposed Site Coverage : 146.73m<sup>2</sup> = 24.59%  
Proposed Garden Area Lot 1: 265.88m<sup>2</sup> = 64.22%  
Proposed Garden Area Lot 2: 265.13m<sup>2</sup> = 44.43%  
Overall Garden Area: 531.00m<sup>2</sup> = 51.71 %

Area Schedule (New Construction)	
Name	Area
Porch	1.63 m <sup>2</sup>
U1 Carport	21.00 m <sup>2</sup>
U2 First Floor	80.05 m <sup>2</sup>
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Area Schedule (External)	
Name	Area
Combined Garden Area	531.00 m <sup>2</sup>
Common Property	16.17 m <sup>2</sup>
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**PROJECT:** Second Dwelling on a Lot + Associated Subdivision: 23-016  
**ADDRESS:** 7 Ryrie St. Healesville  
**DWG TITLE:** Site Plans  
**DATE:** December 2024 **DRAWN BY:** PM **SCALE @ A3:** As indicated



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**SHEET No:**

P007



Legend:

-  = Existing trees to remain
-  = Tree protection for accessway

Tree protection must be provided for trees No. 9, 12, 30 & 31. The accesway must be constructed above existing grade of a water permeable material.

Underground services to the proposed new dwelling must be routed to avoid the TPZ of retained trees or bored where they intersect a TPZ. Refer to services plan on sheet P028 for further information.

Permeable Paving  
sealed driveway

LOT 2  
596.64m<sup>2</sup>

LOT 1  
414.01m<sup>2</sup>

No. 7  
subject site

Ryrie Street

3865  
Crossover  
15051  
Splay

No. 34

No. 32

No. 30

Future Neighbouring Residence

No. 7A

Tree Protection Plan

Scale: 1 : 200

ADVERTISED

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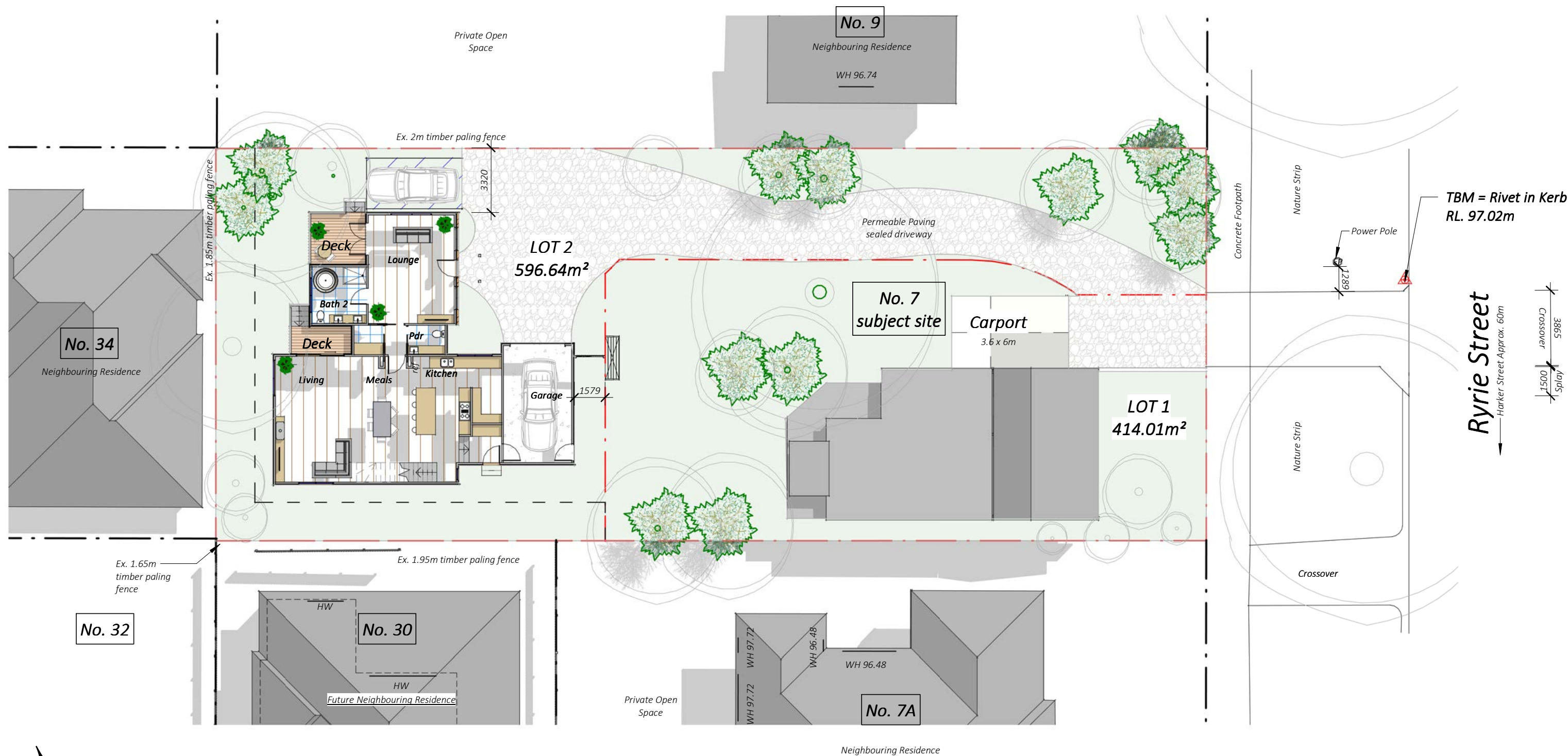
CLIENT: Jessica and Simon Terpstra  
PROJECT: Second Dwelling on a Lot + Associated Subdivision: 23-016  
ADDRESS: 7 Ryrie St. Healesville  
DWG TITLE: Tree Protection Plan  
DATE: December 2024 DRAWN BY: PM SCALE @ A3: As indicated

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P008






Site Ground Floor

Scale: 1 : 200

ADVERTISED

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**ADDRESS:** 7 Ryrie St. Healesville

**DWG TITLE:** Site Plan Ground Floor

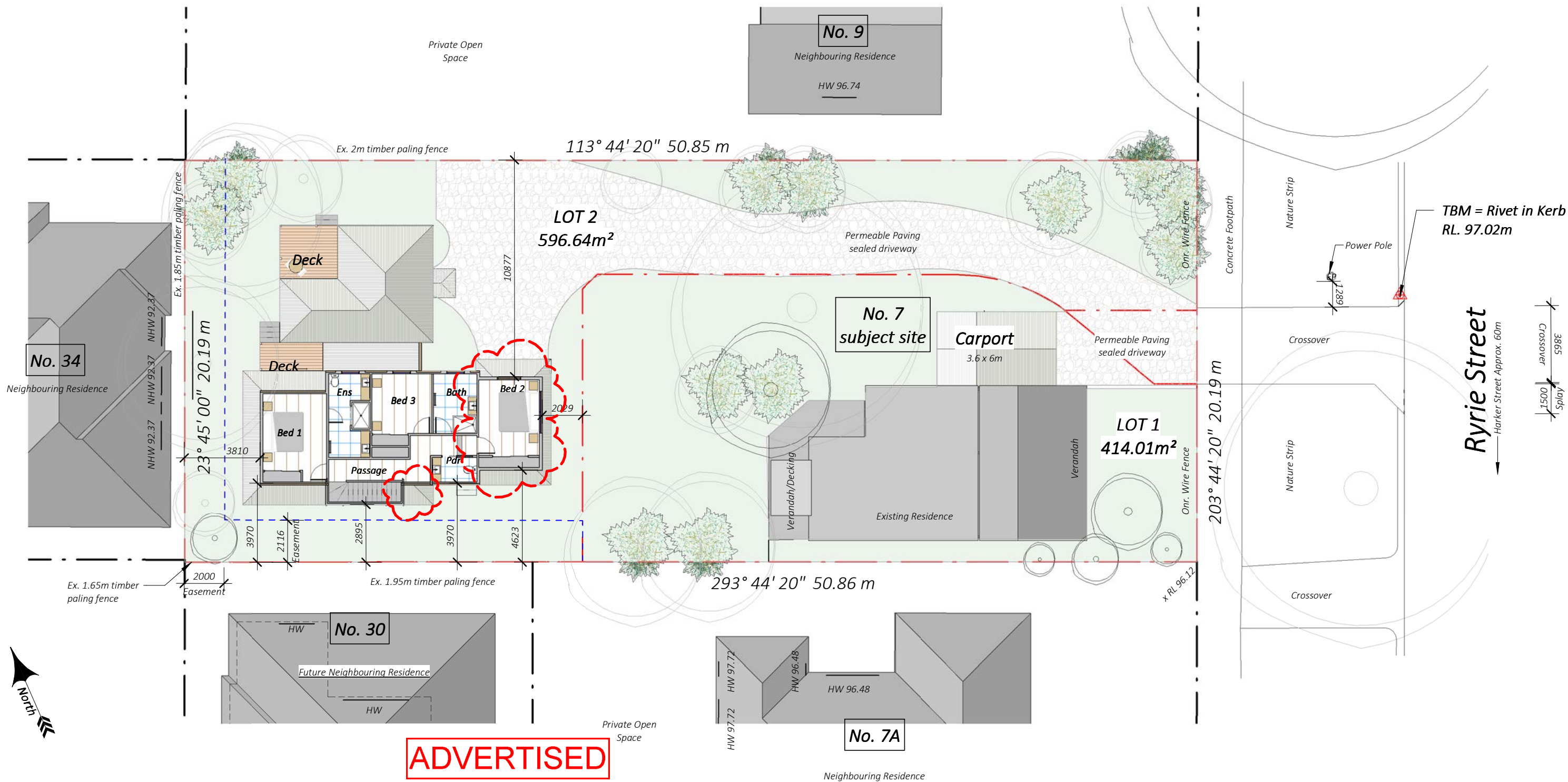
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**SHEET No:**

P009





Site 1st Floor

Scale: 1 : 200

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**DWG TITLE:** Site 1st Floor  
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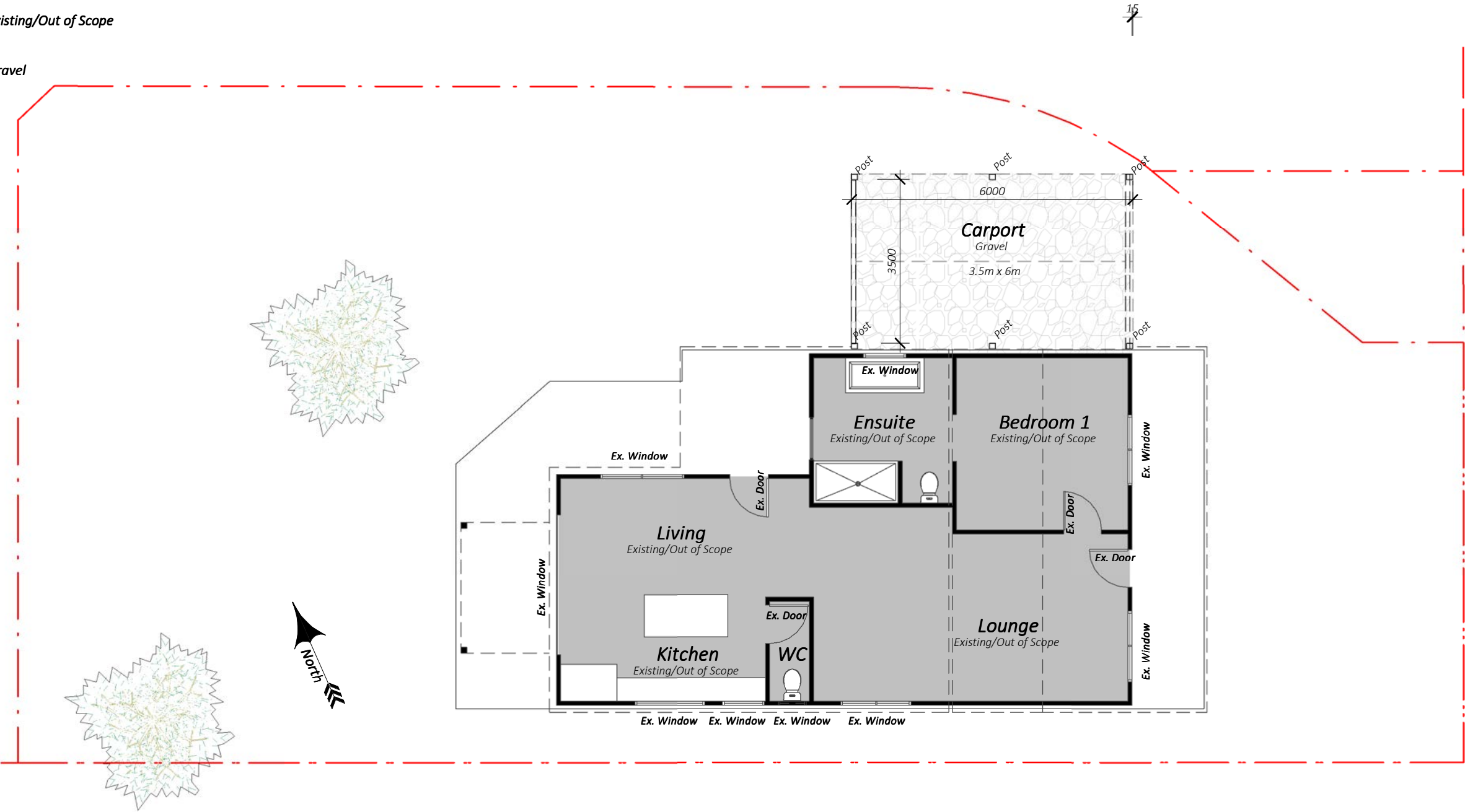
**SHEET No:**  
**P010**



Floor Finishes

Existing/Out of Scope

Gravel



Area Schedule (Existing)	
Name	Area
Ex. Dwelling	81.45 m <sup>2</sup>
Ex. Site	1026.82 m <sup>2</sup>
Existing Verandas	21.38 m <sup>2</sup>

Area Schedule (New Construction)	
Name	Area
Porch	1.63 m <sup>2</sup>
U1 Carport	21.00 m <sup>2</sup>
U2 First Floor	80.05 m <sup>2</sup>
U2 Garage	23.01 m <sup>2</sup>
U2 Ground Floor	122.09 m <sup>2</sup>
U2 North Deck	7.80 m <sup>2</sup>
U2 South Deck	4.43 m <sup>2</sup>
Grand total	260.01 m <sup>2</sup>

U1 Floor Plan

Scale: 1 : 100

ADVERTISED

Revision Schedule		
Revision	Issue:	Date
I	Issue For Planning Permit	03/05/2024
J	Issue For Planning Permit	06/05/2024
K	Issue for Client Comment	19/08/2024
L	Issue for Client Comment	29/08/2024
M	Issue for Client Comment	03/09/2024
N	Issue For Planning Permit	11/09/2024
O	Issue For Planning Permit	03/12/2024
P	Issue For Planning Permit	03/03/2025



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Issue For Planning Permit

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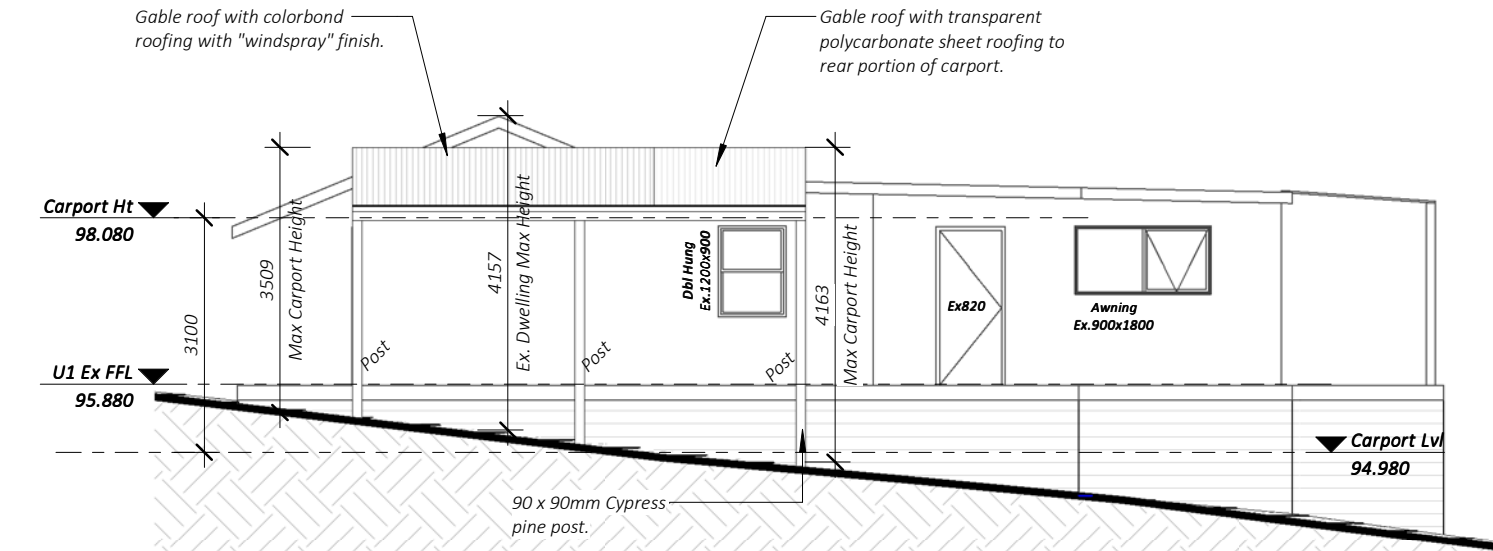
**CLIENT:** Jessica and Simon Terpstra  
**PROJECT:** Second Dwelling on a Lot + Associated Subdivision: 23-016  
**ADDRESS:** 7 Ryrie St. Healesville  
**DWG TITLE:** Unit 1 Floor Plan  
**DATE:** December 2024 **DRAWN BY:** PM **SCALE @ A3:** 1 : 100

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SHEET No:

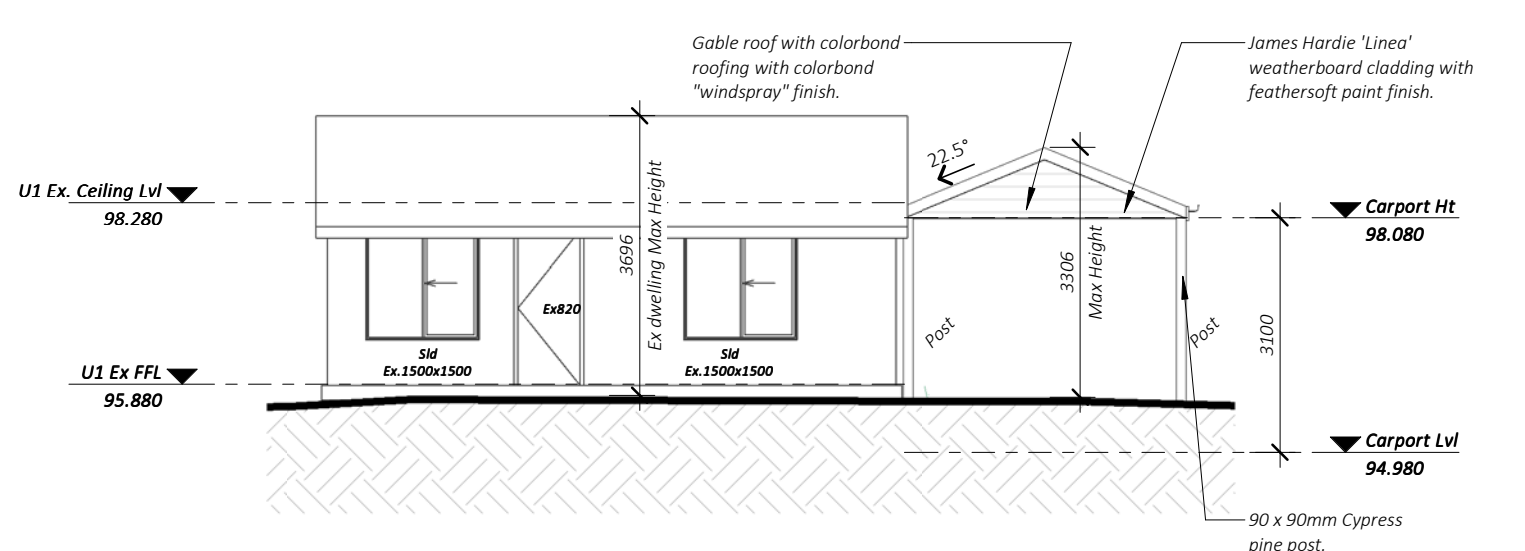
P011





U1 - North Elevation

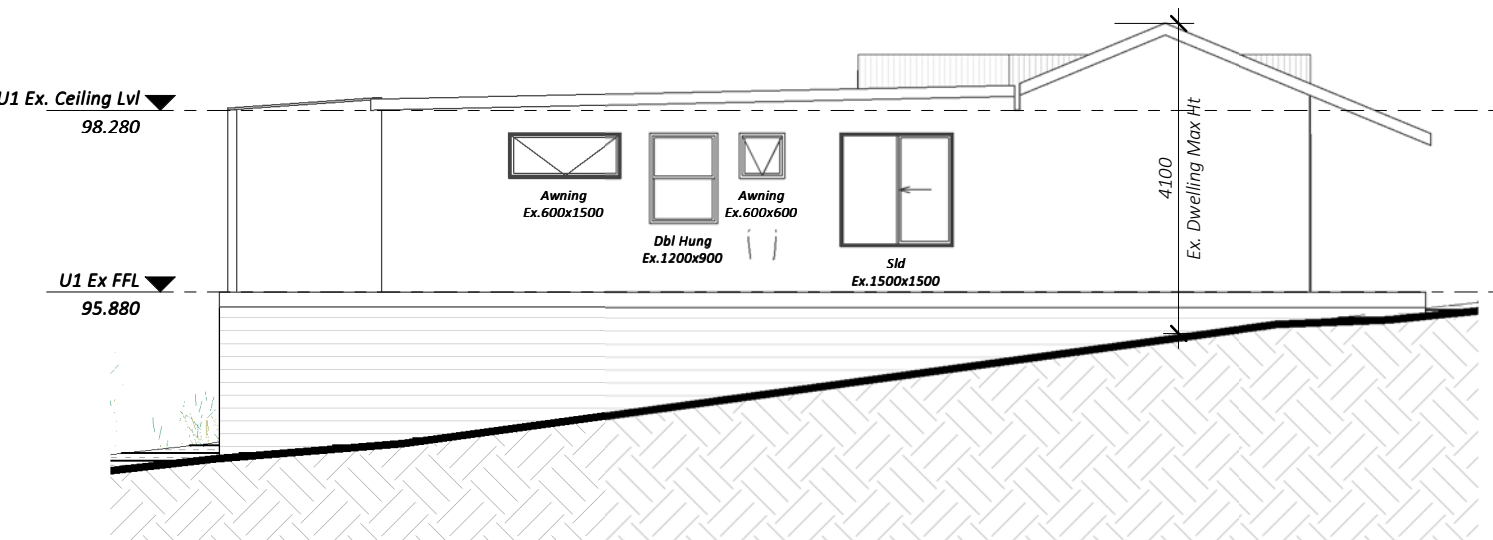
Scale: 1 : 100



U1 - East Elevation

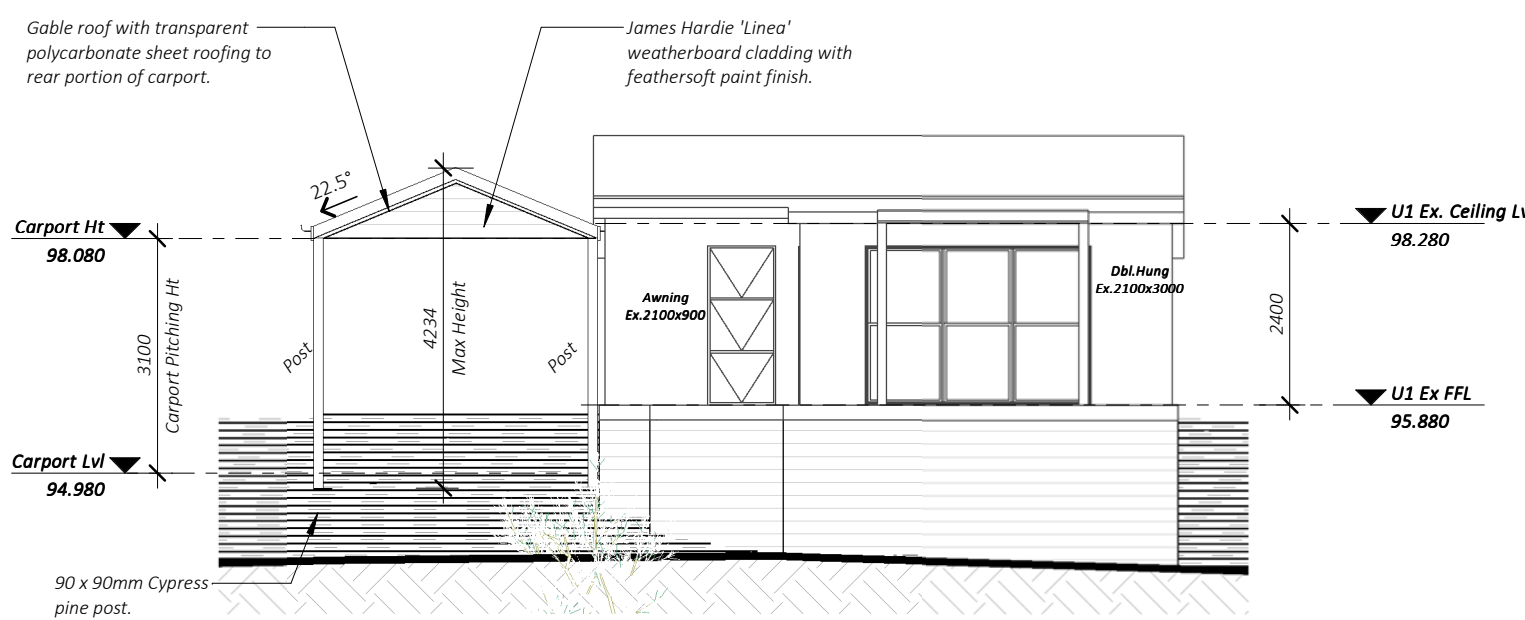
Scale: 1 : 100

ADVERTISED



U1 - South Elevation

Scale: 1 : 100



U1 - West Elevation

Scale: 1 : 100

Revision Schedule		
Revision	Issue:	Date
I	Issue For Planning Permit	03/05/2024
J	Issue For Planning Permit	06/05/2024
K	Issue for Client Comment	19/08/2024
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O	Issue For Planning Permit	03/12/2024
P	Issue For Planning Permit	03/03/2025



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**CLIENT:** Jessica and Simon Terpstra

**PROJECT:** Second Dwelling on a Lot + Associated Subdivision: 23-016

**ADDRESS:** 7 Ryrie St. Healesville

**DWG TITLE:** Unit 1 Elevations

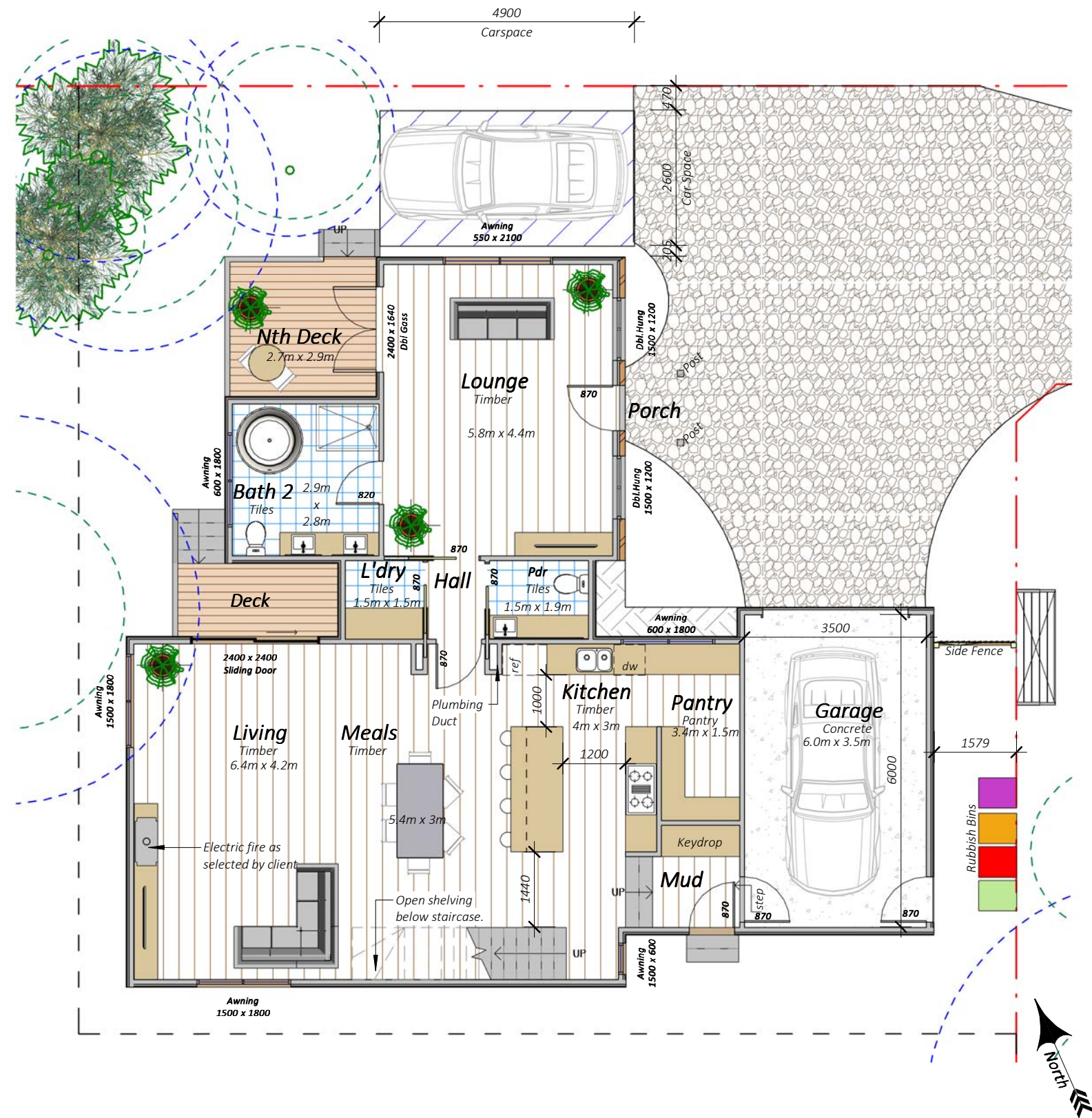
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**SHEET No:**

**P012**





U2 Floor Plan

Scale: 1 : 100

ADVERTISED



U2 First Floor FFL

Scale: 1 : 100

Area Schedule (New Construction)

Name	Area
Porch	1.63 m <sup>2</sup>
U1 Carport	21.00 m <sup>2</sup>
U2 First Floor	80.05 m <sup>2</sup>
U2 Garage	23.01 m <sup>2</sup>
U2 Ground Floor	122.09 m <sup>2</sup>
U2 North Deck	7.80 m <sup>2</sup>
U2 South Deck	4.43 m <sup>2</sup>
Grand total	260.01 m <sup>2</sup>

Floor Finishes

	Carpet		Tiles
	Concrete		Timber

Planning Issue  
Not for Construction

Revision Schedule		
Revision	Issue:	Date
I	Issue For Planning Permit	03/05/2024
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K	Issue for Client Comment	19/08/2024
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P	Issue For Planning Permit	03/03/2025

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**CLIENT:** Jessica and Simon Terpstra

**PROJECT:** Second Dwelling on a Lot + Associated Subdivision: 23-016

**ADDRESS:** 7 Ryrie St. Healesville

**DWG TITLE:** Unit 2 Floor Plans

**DATE:** December 2024 **DRAWN BY:** PM **SCALE @ A3:** 1 : 100

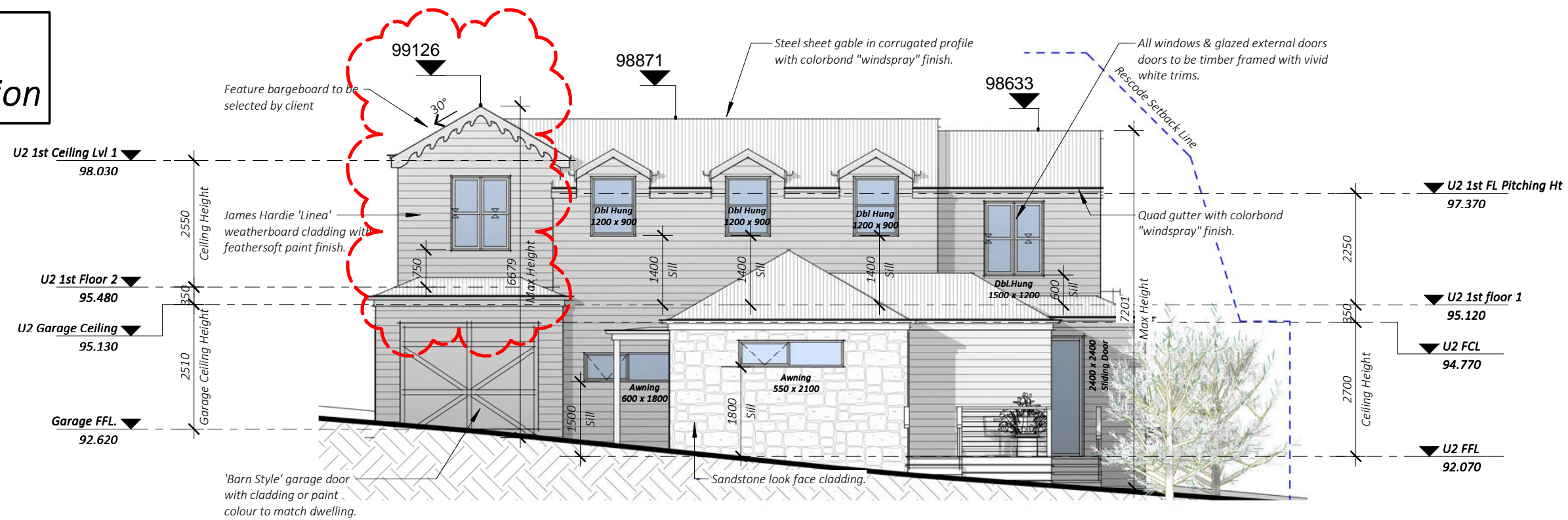
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P013

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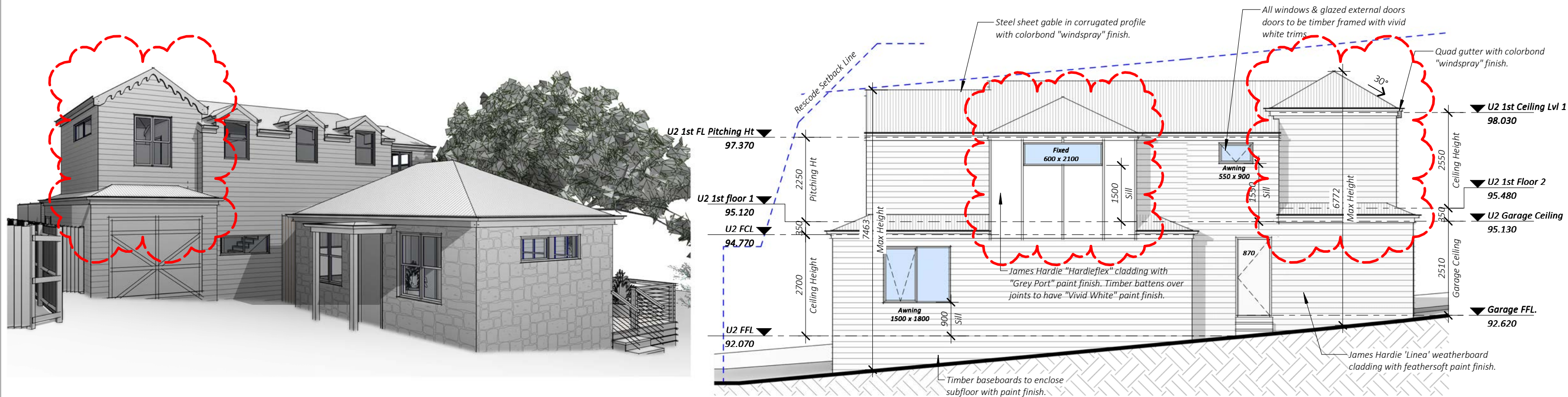
*Planning Issue  
Not for Construction*



### U2 - North Elevation

**Scale: 1 : 100**

ADVERTISED



*U2 - South Elevation*

**Scale: 1 : 100**

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**CLIENT:** Jessica and Simon Terpstra  
**PROJECT:** Second Dwelling on a Lot + Associated Subdivision: 23-016  
**ADDRESS:** 7 Ryrie St. Healesville  
**DWG TITLE:** Unit 2 Elevations  
**DATE:** December 2024 **DRAWN BY:** PM **SCALE @ A3:** 1 : 100


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D014

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Revision	Issue:	Date
I	Issue for Planning Permit	03/05/2024
J	Issue For Planning Permit	06/05/2024
K	Issue for Client Comment	19/08/2024
L	Issue for Client Comment	29/08/2024
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N	Issue For Planning Permit	11/09/2024
O	Issue For Planning Permit	03/12/2024
P	Issue For Planning Permit	03/03/2025


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*Issue For Planning Permit*

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<b>CLIENT:</b>	Jessica and Simon Terpstra	<b>SHEET No:</b>  <b>P014</b>
<b>PROJECT:</b>	Second Dwelling on a Lot + Associated Subdivision: 23-016	
<b>ADDRESS:</b>	7 Ryrie St. Healesville	
<b>DWG TITLE:</b>	Unit 2 Elevations	
<b>DATE:</b>	December 2024	
<b>DRAWN BY:</b>	PM	<b>SCALE @ A3:</b> 1 : 100
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**Scale: 1 : 100**



**Scale: 1 : 100**

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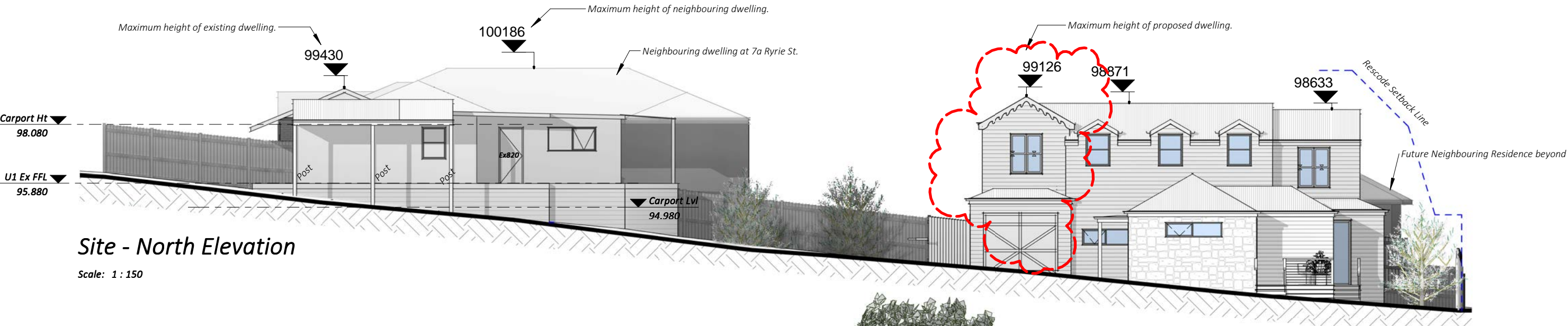
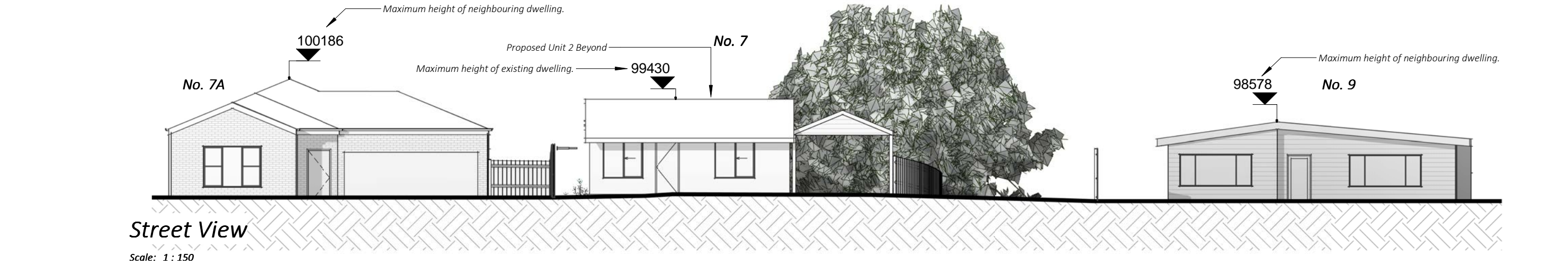
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D015





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Revision Schedule		
Revision	Issue:	Date
I	Issue For Planning Permit	03/05/2024
J	Issue For Planning Permit	06/05/2024
K	Issue For Client Comment	19/08/2024
L	Issue For Client Comment	29/08/2024
M	Issue For Client Comment	03/09/2024
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O	Issue For Planning Permit	03/12/2024
P	Issue For Planning Permit	03/03/2025



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**CLIENT:** Jessica and Simon Terpstra

**PROJECT:** Second Dwelling on a Lot + Associated Subdivision: 23-016

**ADDRESS:** 7 Ryrie St. Healesville

**DWG TITLE:** Street Scape

**DATE:** December 2024 **DRAWN BY:** PM **SCALE @ A3:** 1 : 150

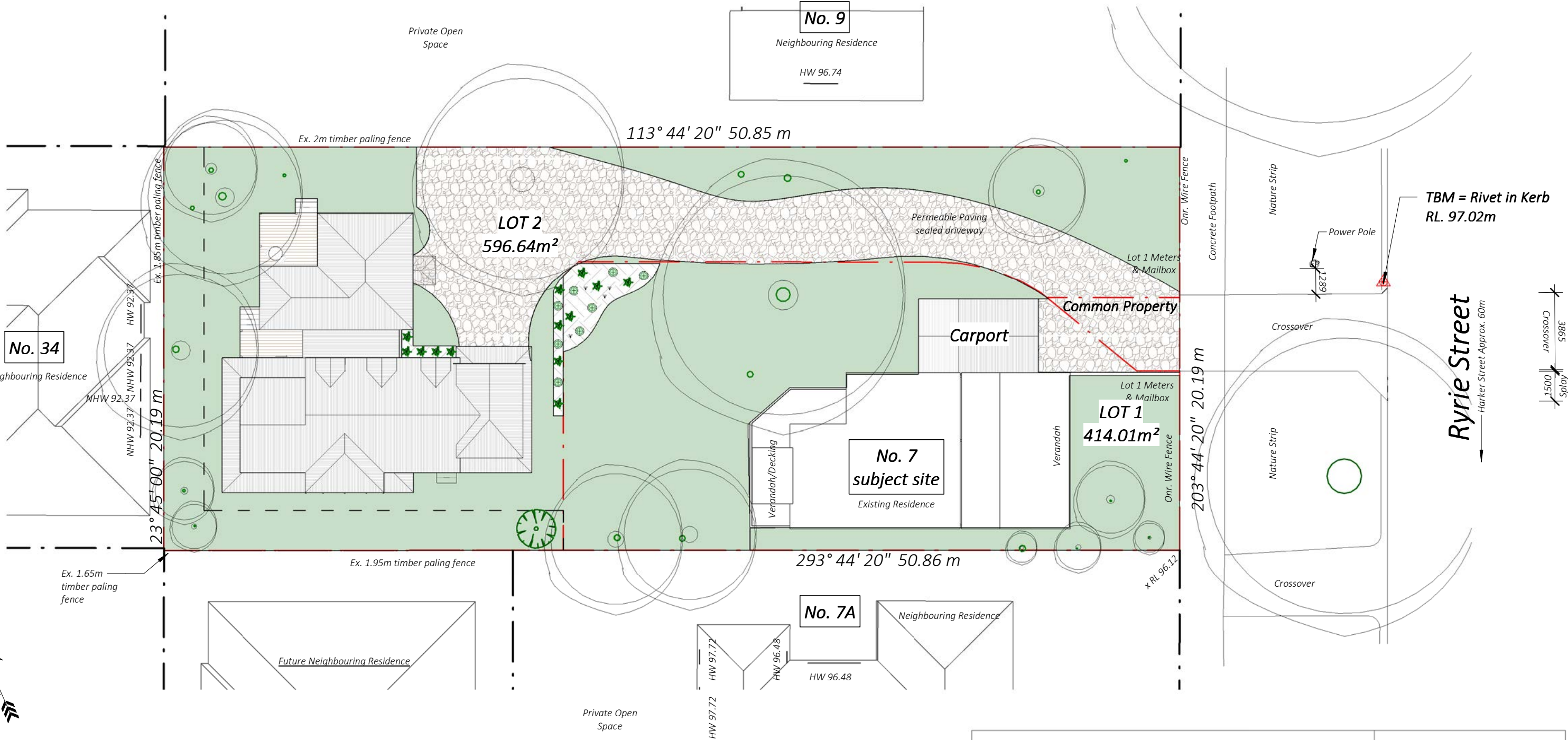
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**SHEET No:**

P016





Landscaping Plan

Scale: 1 : 200

ADVERTISED

Planting & Surfaces Schedule			Notes
	=Golden Wattle (Acacia pycnantha) with minimum 2m height at time of planting.		= Grass
	= 200mm pot Sweet Bursaria (Bursaria spinosa)		= Mixed Pebbles
	= 150mm pot Bulbine Lily (Bulbine bulbosa)		= 20mm Mulch to Garden Beds
	= 150mm pot Mat Rush (Lomandra hystrix).		= Crushed Rock (Sandstone)
			Contractor to verify the location of all services prior to the commencement of any works. Contractor to verify all dimensions and levels prior to commencement of works. Contractor to note that required location and dimensions of works may not exactly correspond with existing conditions. Trees are to be planted no closer than 3 metres to sewerage and stormwater pipes and 1.5m from all other services. Verify all plant quantities. All garden beds to grade evenly at 1% minimum away from buildings.

Revision Schedule		
Revision	Issue:	Date
I	Issue for Planning Permit	03/05/2024
J	Issue For Planning Permit	06/05/2024
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O	Issue For Planning Permit	03/12/2024
P	Issue For Planning Permit	03/03/2025

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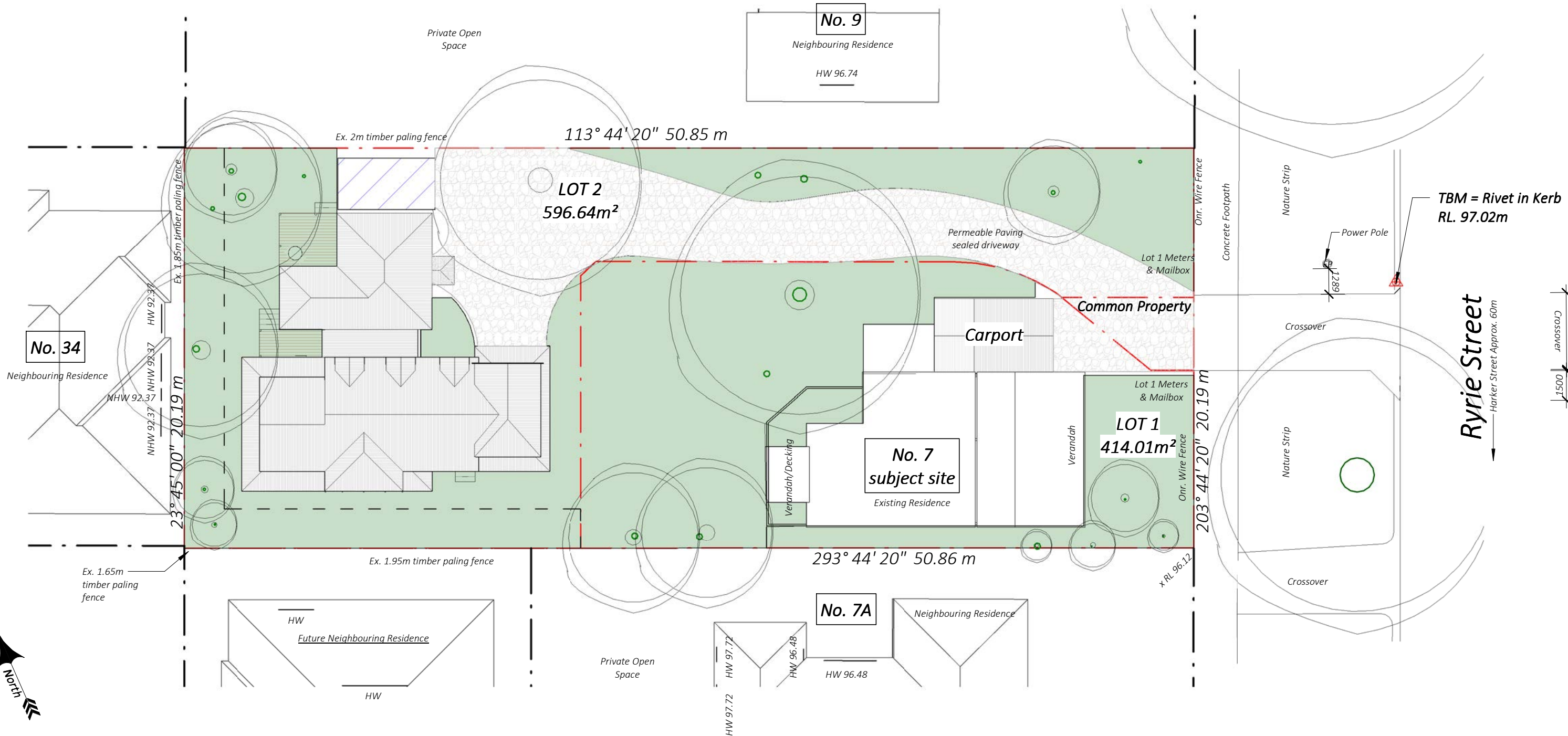
**CLIENT:** Jessica and Simon Terpstra  
**PROJECT:** Second Dwelling on a Lot + Associated Subdivision: 23-016  
**ADDRESS:** 7 Ryrie St. Healesville  
**DWG TITLE:** Landscaping Plan  
**DATE:** December 2024 **DRAWN BY:** PM **SCALE @ A3:** As indicated

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## Garden Area Plan

Scale: 1 : 200

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Area Schedule (External)	
Name	Area
Combined Garden Area	531.00 m <sup>2</sup>
Common Property	16.17 m <sup>2</sup>
Lot 1 Garden Area	265.88 m <sup>2</sup>
Lot 1 Site	414.01 m <sup>2</sup>
Lot 1 Site Coverage	123.83 m <sup>2</sup>
Lot 2 Garden Area	265.13 m <sup>2</sup>
Lot 2 Site	596.64 m <sup>2</sup>
Lot 2 Site Coverage	146.73 m <sup>2</sup>
Permeability	756.26 m <sup>2</sup>
Site Total	1026.82 m <sup>2</sup>

Proposed Site Permeability : 756.64m<sup>2</sup> = 73.69%  
U1 Proposed Site Coverage : 123.83m<sup>2</sup> = 29.91%  
U2 Proposed Site Coverage : 146.73m<sup>2</sup> = 24.59%  
Proposed Garden Area Lot 1: 265.88m<sup>2</sup> = 64.22%  
Proposed Garden Area Lot 2: 265.13m<sup>2</sup> = 44.43%  
Overall Garden Area: 531.00m<sup>2</sup> = 51.71 %

 = Garden Area

## Garden Area

Scale: 1 : 200

Revision Schedule		
Revision	Issue:	Date
I	Issue For Planning Permit	03/05/2024
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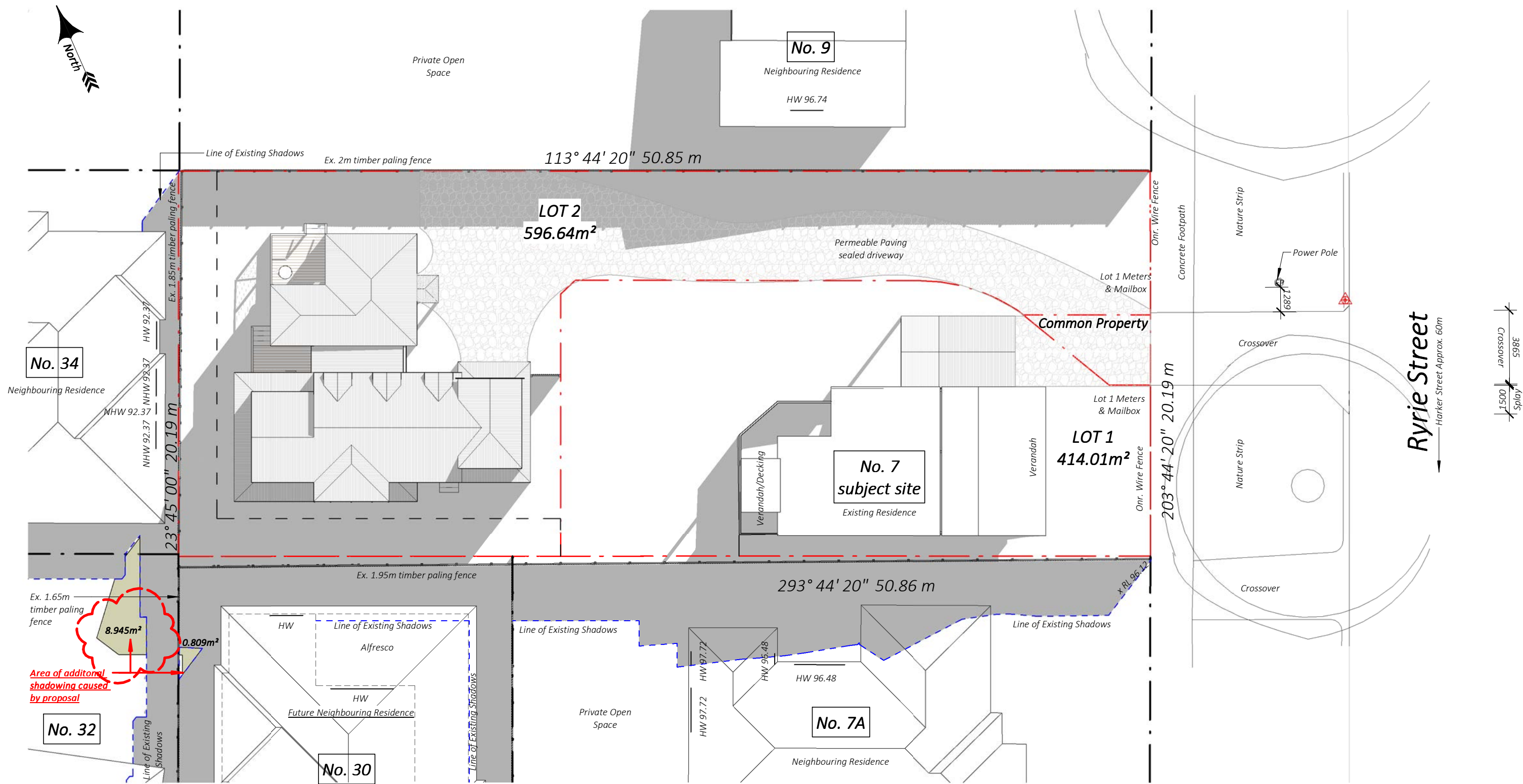
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**CLIENT:** Jessica and Simon Terpstra  
**PROJECT:** Second Dwelling on a Lot + Associated Subdivision: 23-016  
**ADDRESS:** 7 Ryrie St. Healesville  
**DWG TITLE:** Garden Area Plan  
**DATE:** December 2024 **DRAWN BY:** PM **SCALE @ A3:** 1 : 200

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**SHEET No:**  
**P018**





Shadows - 9am

Scale: 1 : 200

Note

ADVERTISED

-Blue dashed line indicates line of existing shadows

-Yellow hatch indicates extent of additional shadowing caused by the proposal.

No. 30 SPOS area - 114.56m²

No. 32 SPOS area - 121m²

Additional Shadows -

No. 30 - 0.809m² = 0.71%

No. 32 - 9.053m² = 7.48%

Revision Schedule		
Revision	Issue:	Date
I	Issue For Planning Permit	03/05/2024
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CLIENT: Jessica and Simon Terpstra

PROJECT: Second Dwelling on a Lot + Associated Subdivision: 23-016

ADDRESS: 7 Ryrie St. Healesville

DWG TITLE: Shadow Diagrams 9AM

DATE: December 2024 DRAWN BY: PM SCALE @ A3: 1 : 200

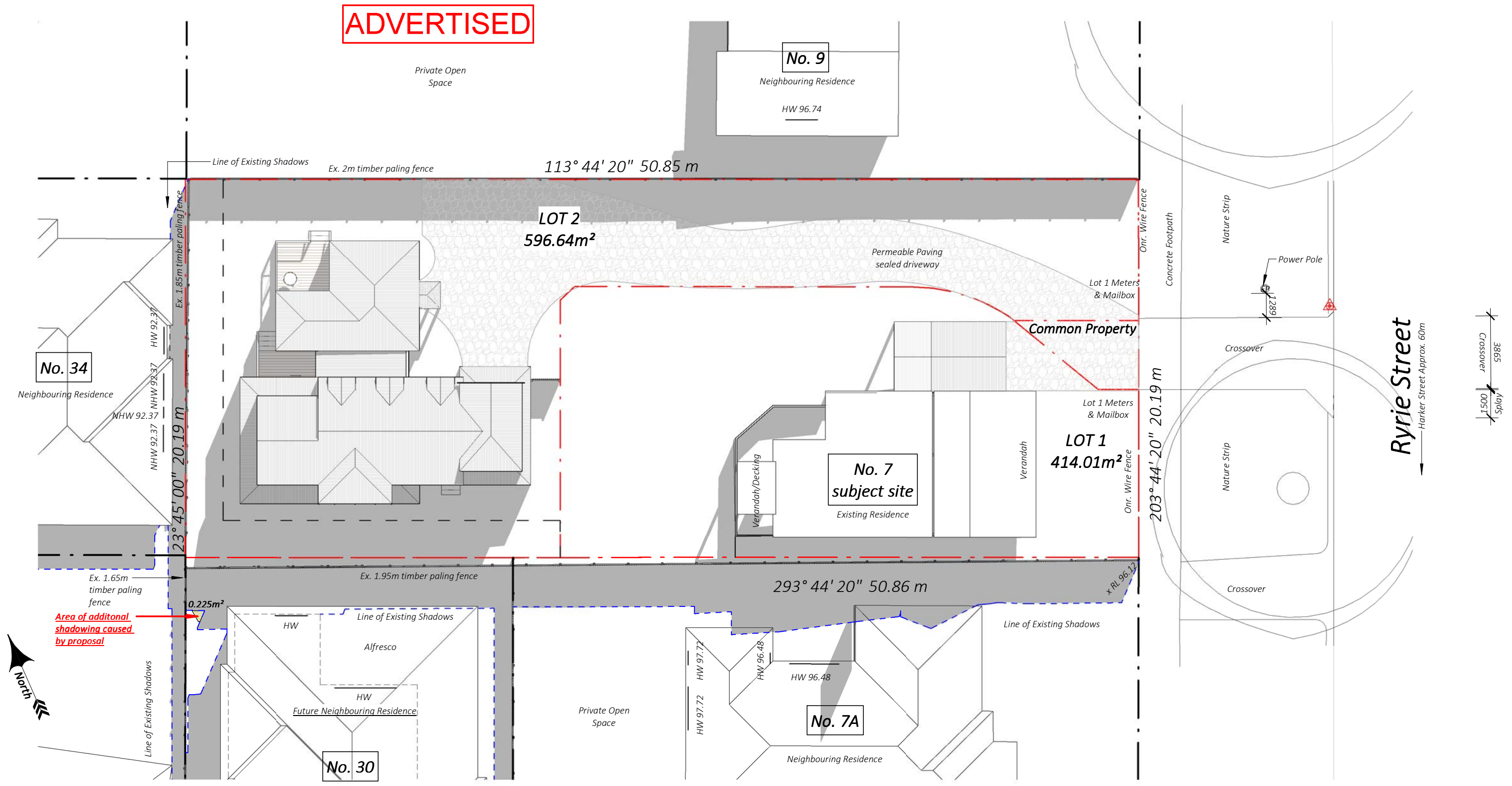
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SHEET No:

P019



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Note

- Blue dashed line indicates line of existing shadows
- Yellow hatch indicates extent of additional shadowing caused by the proposal.

Shadows - 10am  
Scale: 1 : 200

No. 30 SPOS area - 114.56m²  
Additional Shadows -  
No. 30 - 0.225m² = 0.20%

Revision Schedule		
Revision	Issue:	Date
I	Issue For Planning Permit	03/05/2024
J	Issue For Planning Permit	06/05/2024
K	Issue For Client Comment	19/08/2024
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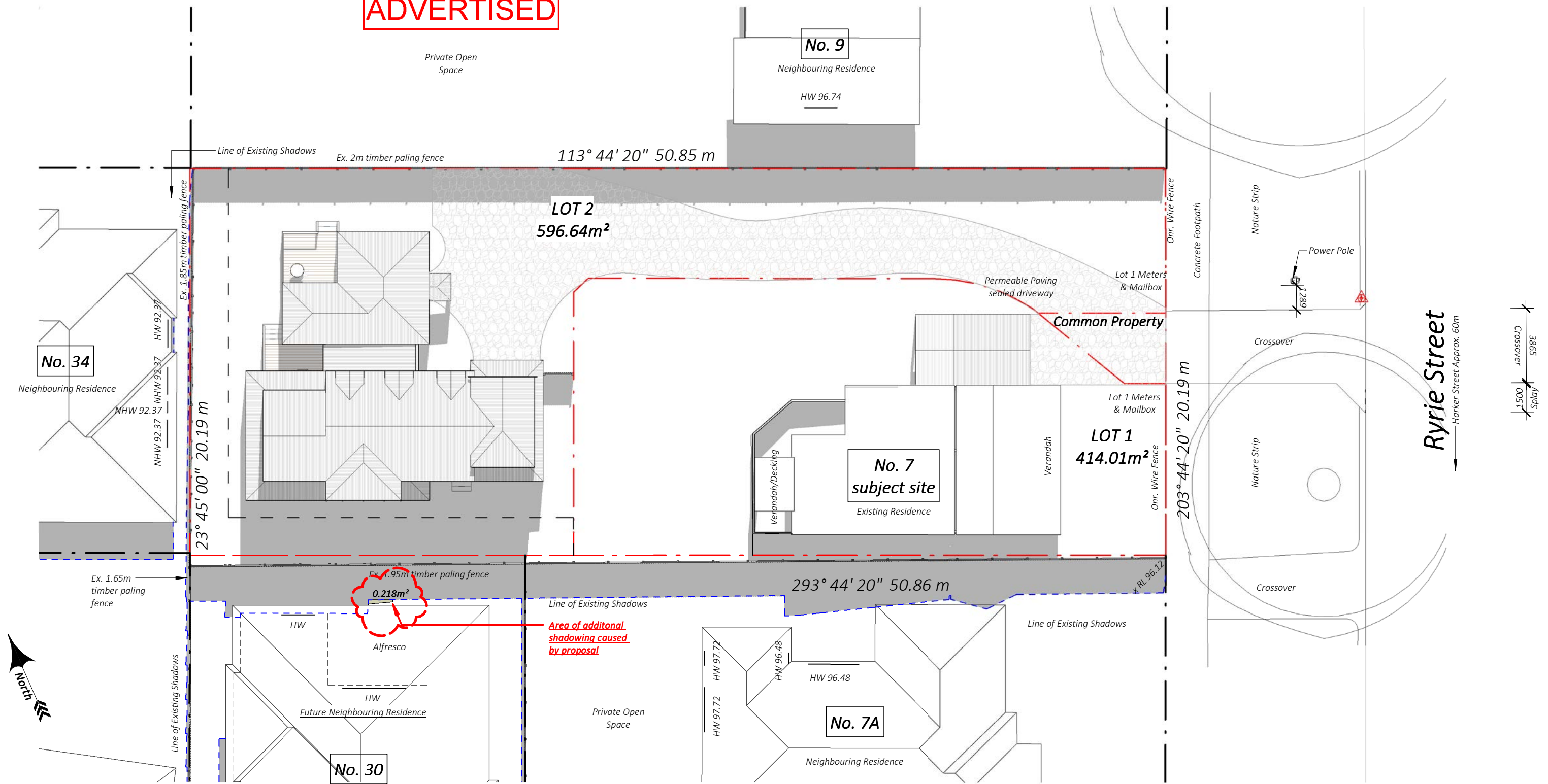
**CLIENT:** Jessica and Simon Terpstra  
**PROJECT:** Second Dwelling on a Lot + Associated Subdivision: 23-016  
**ADDRESS:** 7 Ryrie St. Healesville  
**DWG TITLE:** Shadow Diagrams 10AM  
**DATE:** December 2024 **DRAWN BY:** PM **SCALE @ A3:** 1 : 200

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**P020**



ADVERTISED



Shadows - 11 AM

Scale: 1 : 200

Note

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- Yellow hatch indicates extent of additional shadowing caused by the proposal.

No. 30 SPOS area - 114.56m²

Additional Shadows -

No. 30 - 0.312m² = 0.27%

Revision Schedule		
Revision	Issue:	Date
I	Issue For Planning Permit	03/05/2024
J	Issue For Planning Permit	06/05/2024
K	Issue For Client Comment	19/08/2024
L	Issue For Client Comment	29/08/2024
M	Issue For Client Comment	03/09/2024
N	Issue For Planning Permit	11/09/2024
O	Issue For Planning Permit	03/12/2024
P	Issue For Planning Permit	03/03/2025



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**Issue For Planning Permit**

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS WITH SITE CONDITIONS AND REFER ANY DISCREPANCIES TO THE BUILDER/DESIGNER PRIOR TO COMMENCING WORK.  
DO NOT SCALE DRAWING.

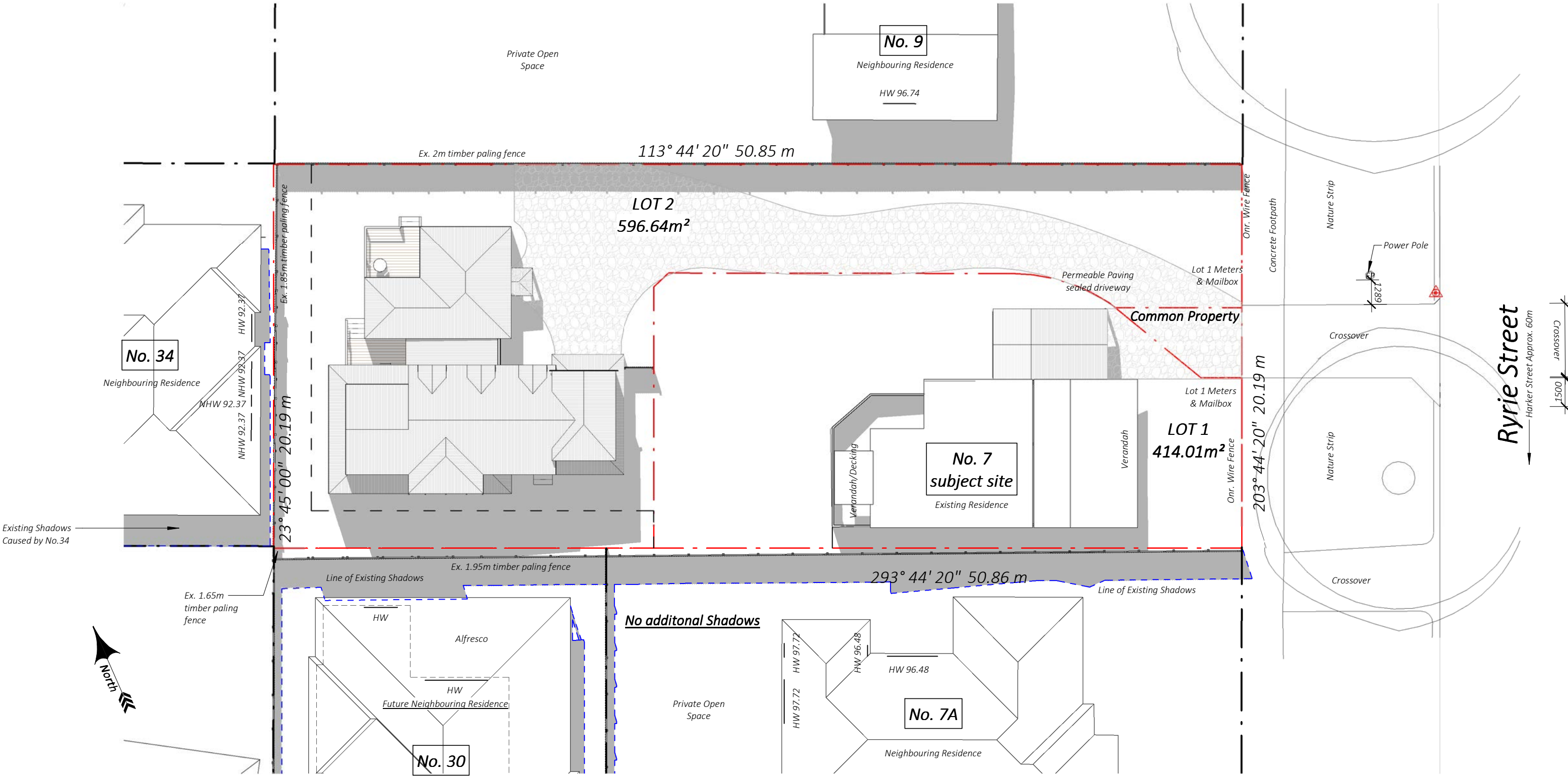
WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. ALL ANOMALIES SHALL BE REFERRED TO THE BUILDER/DESIGNER FOR CLARIFICATION BEFORE PUTTING WORK IN HAND.  
ALL CARE HAS BEEN TAKEN TO ENSURE THE ACCURACY OF EXISTING CONDITIONS, EXACT SCOPE OF WORKS MAY VARY AS A RESULT OF UNFORESEEABLE FACTORS WITHIN ENCLOSED SPACES OF STRUCTURE OF BUILDING.

**CLIENT:** Jessica and Simon Terpstra  
**PROJECT:** Second Dwelling on a Lot + Associated Subdivision: 23-016  
**ADDRESS:** 7 Ryrie St. Healesville  
**DWG TITLE:** Shadow Diagrams 11AM  
**DATE:** December 2024 **DRAWN BY:** PM **SCALE @ A3:** 1 : 200

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**SHEET No:**  
**P021**





Shadows - 12PM

Scale: 1 : 200

**Note**  
-Blue dashed line indicates line of existing shadows  
-Yellow hatch indicates extent of additional shadowing caused by the proposal.

ADVERTISED

Revision Schedule		
Revision	Issue:	Date
I	Issue For Planning Permit	03/05/2024
J	Issue For Planning Permit	06/05/2024
K	Issue For Client Comment	19/08/2024
L	Issue For Client Comment	29/08/2024
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N	Issue For Planning Permit	11/09/2024
O	Issue For Planning Permit	03/12/2024
P	Issue For Planning Permit	03/03/2025




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**CLIENT:** Jessica and Simon Terpstra

**PROJECT:** Second Dwelling on a Lot + Associated Subdivision: 23-016

**ADDRESS:** 7 Ryrie St. Healesville

**DWG TITLE:** Shadow Diagrams 12PM

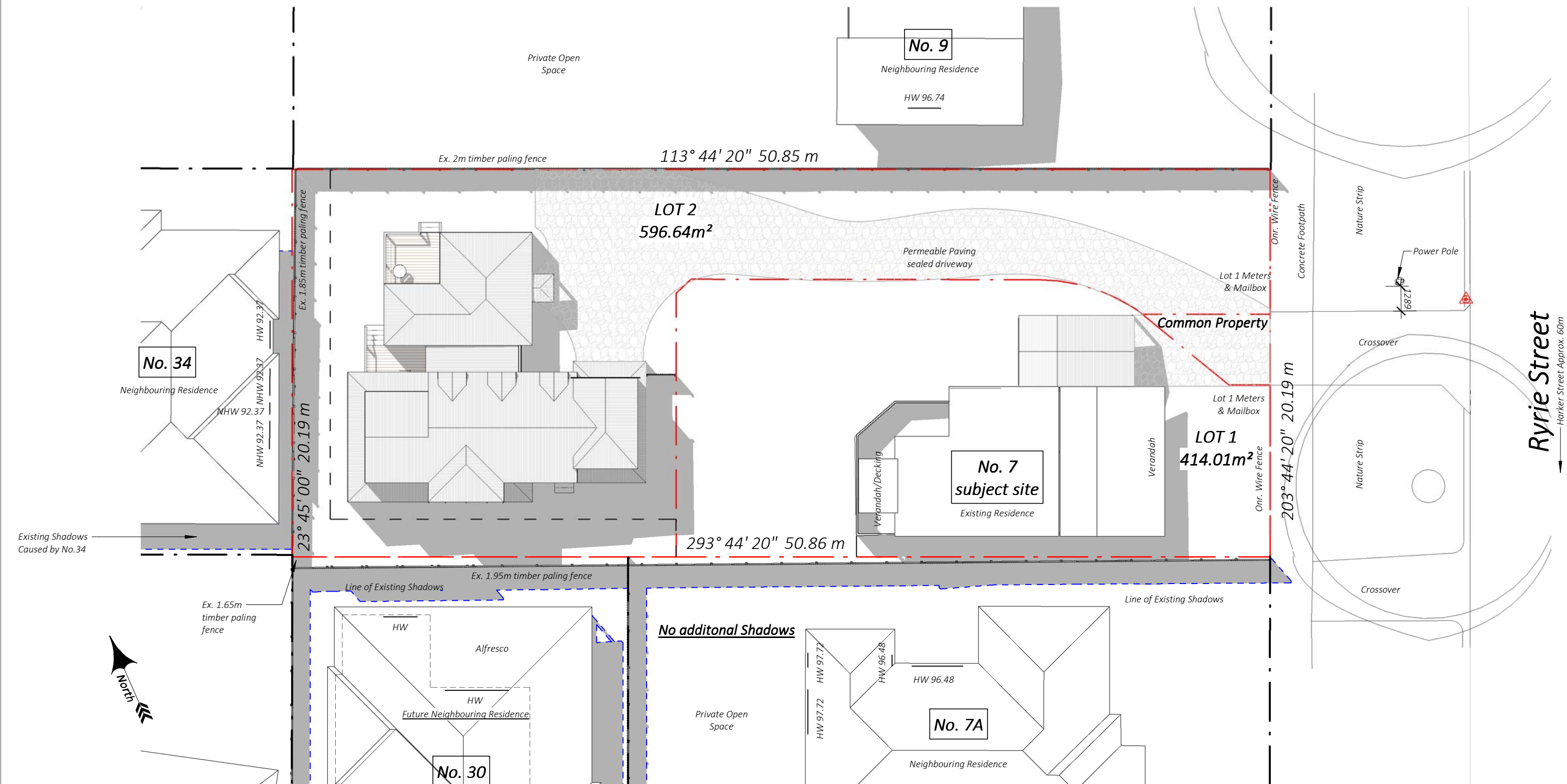
**DATE:** December 2024 **DRAWN BY:** PM **SCALE @ A3:** 1 : 200

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**SHEET No:**

P022





Shadows - 1PM

Scale: 1 : 200

Note

- Blue dashed line indicates line of existing shadows
- Yellow hatch indicates extent of additional shadowing caused by the proposal.

ADVERTISED

Revision Schedule		
Revision	Issue:	Date
I	Issue For Planning Permit	03/05/2024
J	Issue For Planning Permit	06/05/2024
K	Issue For Client Comment	19/08/2024
L	Issue For Client Comment	29/08/2024
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N	Issue For Planning Permit	11/09/2024
O	Issue For Planning Permit	03/12/2024
P	Issue For Planning Permit	03/03/2025



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CLIENT: Jessica and Simon Terpstra

PROJECT: Second Dwelling on a Lot + Associated Subdivision: 23-016

ADDRESS: 7 Ryrie St. Healesville

DWG TITLE: Shadow Diagrams 1PM

DATE: December 2024 DRAWN BY: PM SCALE @ A3: 1 : 200

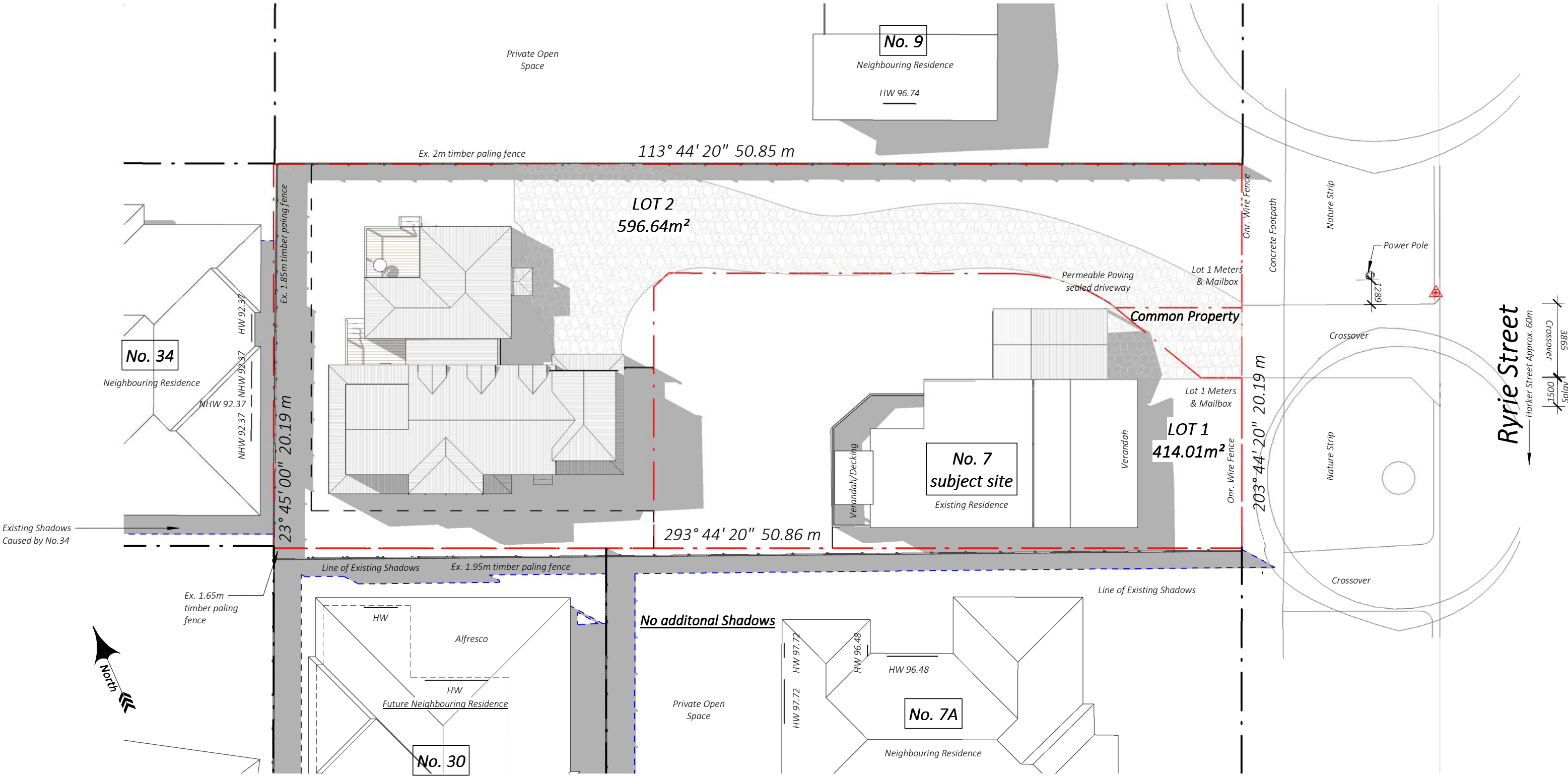
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SHEET No:

P023





Shadows - 2PM  
Scale: 1 : 200

**Note**  
-Blue dashed line indicates line of existing shadows  
-Yellow hatch indicates extent of additional shadowing caused by the proposal.

**ADVERTISED**

Revision Schedule		
Revision	Issue:	Date
I	Issue For Planning Permit	03/05/2024
J	Issue For Planning Permit	06/05/2024
K	Issue For Client Comment	19/08/2024
L	Issue For Client Comment	29/08/2024
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O	Issue For Planning Permit	03/12/2024
P	Issue For Planning Permit	03/03/2025



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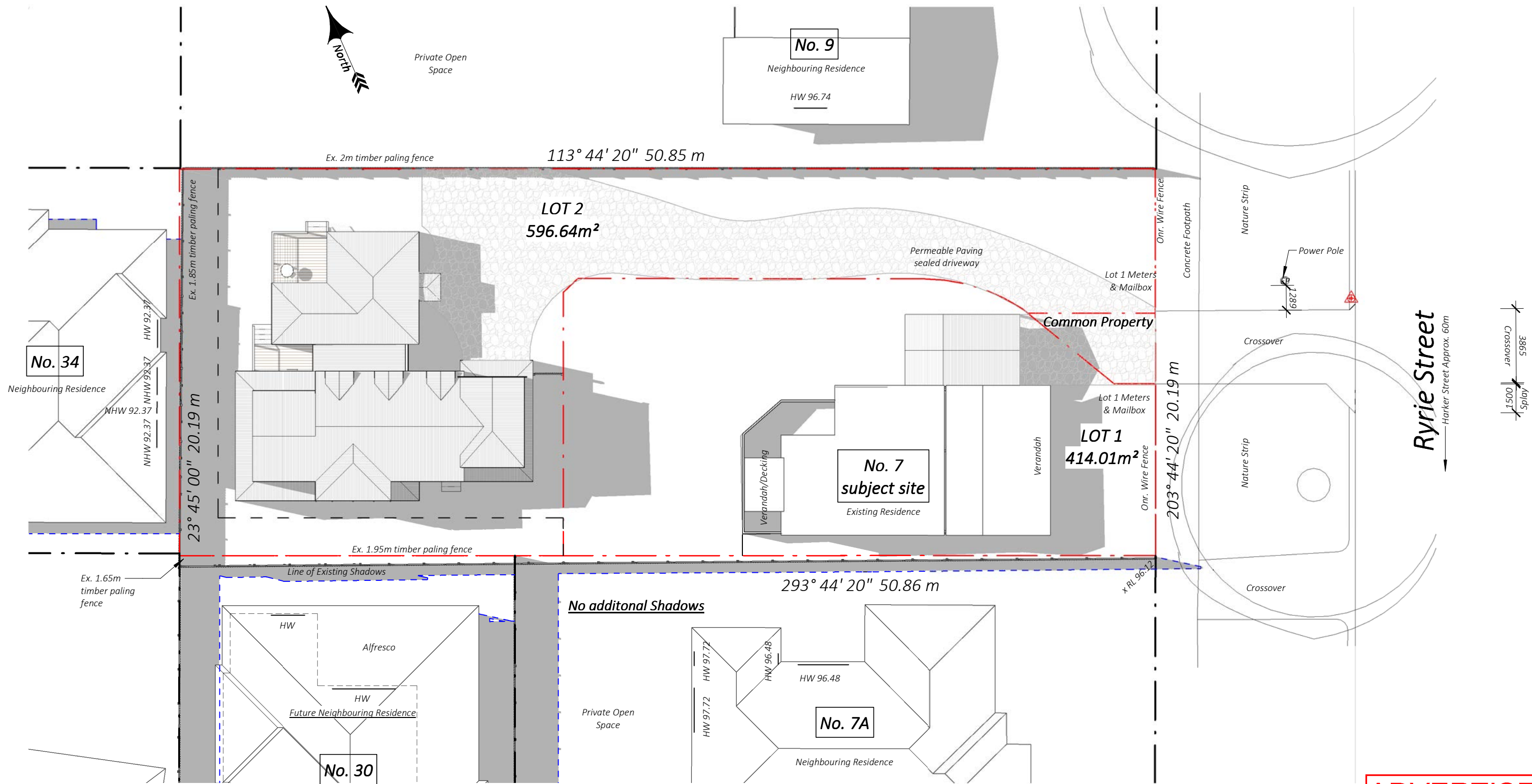
ALL CARE HAS BEEN TAKEN TO ENSURE THE ACCURACY OF EXISTING CONDITIONS, EXACT SCOPE OF WORKS MAY VARY AS A RESULT OF UNFORESEEABLE FACTORS WITHIN ENCLOSED SPACES OF STRUCTURE OF BUILDING.

**CLIENT:** Jessica and Simon Terpstra  
**PROJECT:** Second Dwelling on a Lot + Associated Subdivision: 23-016  
**ADDRESS:** 7 Ryrie St. Healesville  
**DWG TITLE:** Shadow Diagrams 2PM  
**DATE:** December 2024 **DRAWN BY:** PM **SCALE @ A3:** 1 : 200

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**SHEET No:**  
**P024**





ADVERTISED

Shadows - 3PM  
Scale: 1 : 200

**Note**  
-Blue dashed line indicates line of existing shadows  
-Yellow hatch indicates extent of additional shadowing caused by the proposal.

Revision Schedule		
Revision	Issue:	Date
I	Issue for Planning Permit	03/05/2024
J	Issue For Planning Permit	06/05/2024
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O	Issue For Planning Permit	03/12/2024
P	Issue For Planning Permit	03/03/2025



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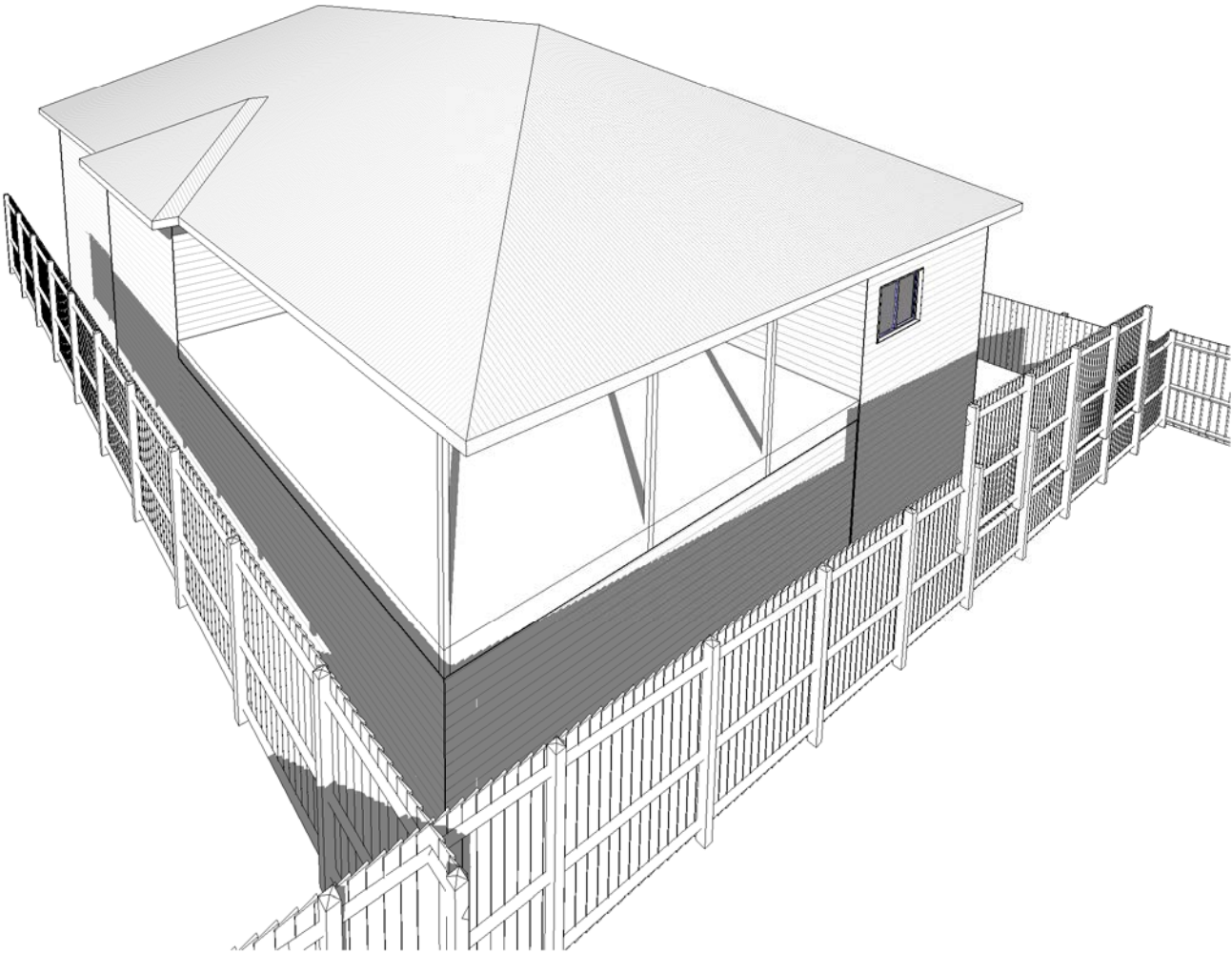
**CLIENT:** Jessica and Simon Terpstra  
**PROJECT:** Second Dwelling on a Lot + Associated Subdivision: 23-016  
**ADDRESS:** 7 Ryrie St. Healesville  
**DWG TITLE:** Shadow Diagrams 3PM  
**DATE:** December 2024 **DRAWN BY:** PM **SCALE @ A3:** 1 : 200

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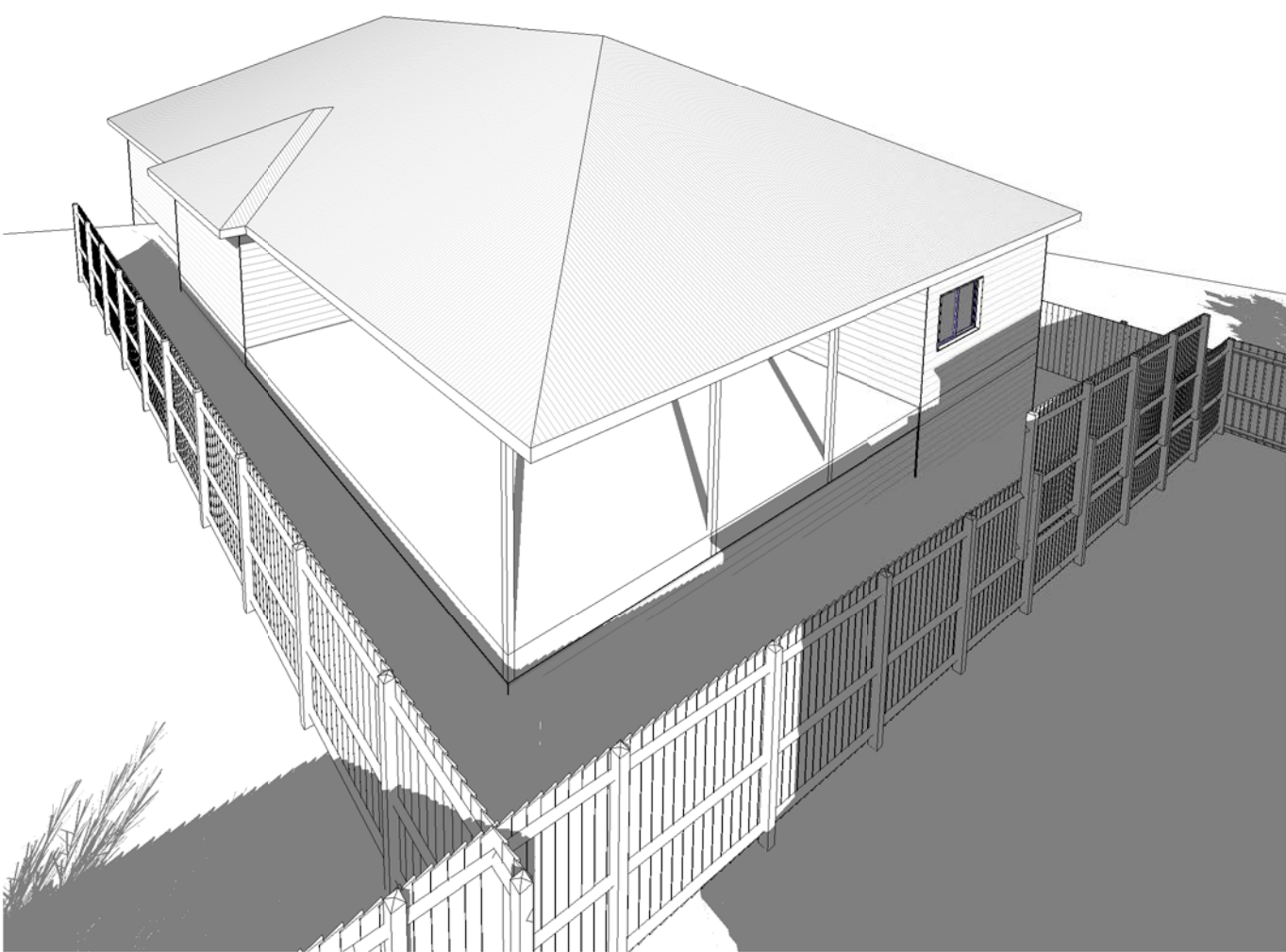
**SHEET No:**  
**P025**



3D VIEWS OF THE SHADOWS ON 30 HARKER ST - 9AM



9AM Existing Shadows



9AM Proposed Shadows

ADVERTISED

Revision Schedule		
Revision	Issue:	Date
I	Issue For Planning Permit	03/05/2024
J	Issue For Planning Permit	06/05/2024
K	Issue For Client Comment	19/08/2024
L	Issue For Client Comment	29/08/2024
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N	Issue For Planning Permit	11/09/2024
O	Issue For Planning Permit	03/12/2024
P	Issue For Planning Permit	03/03/2025



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Issue For Planning Permit

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CLIENT: Jessica and Simon Terpstra  
PROJECT: Second Dwelling on a Lot + Associated Subdivision: 23-016  
ADDRESS: 7 Ryrie St. Healesville  
DWG TITLE: Shadow Diagrams 3D 9AM  
DATE: December 2024 DRAWN BY: PM SCALE @ A3:

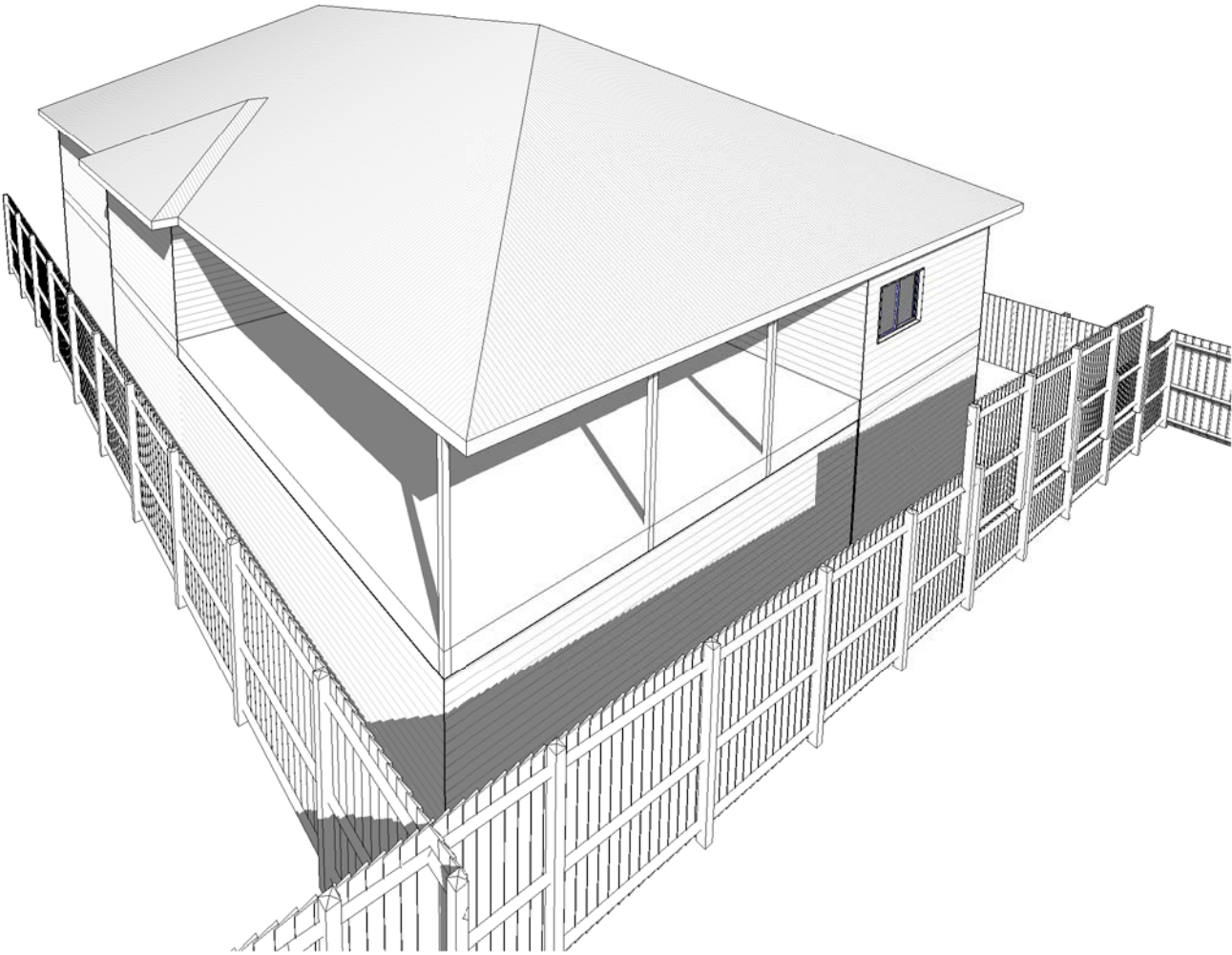
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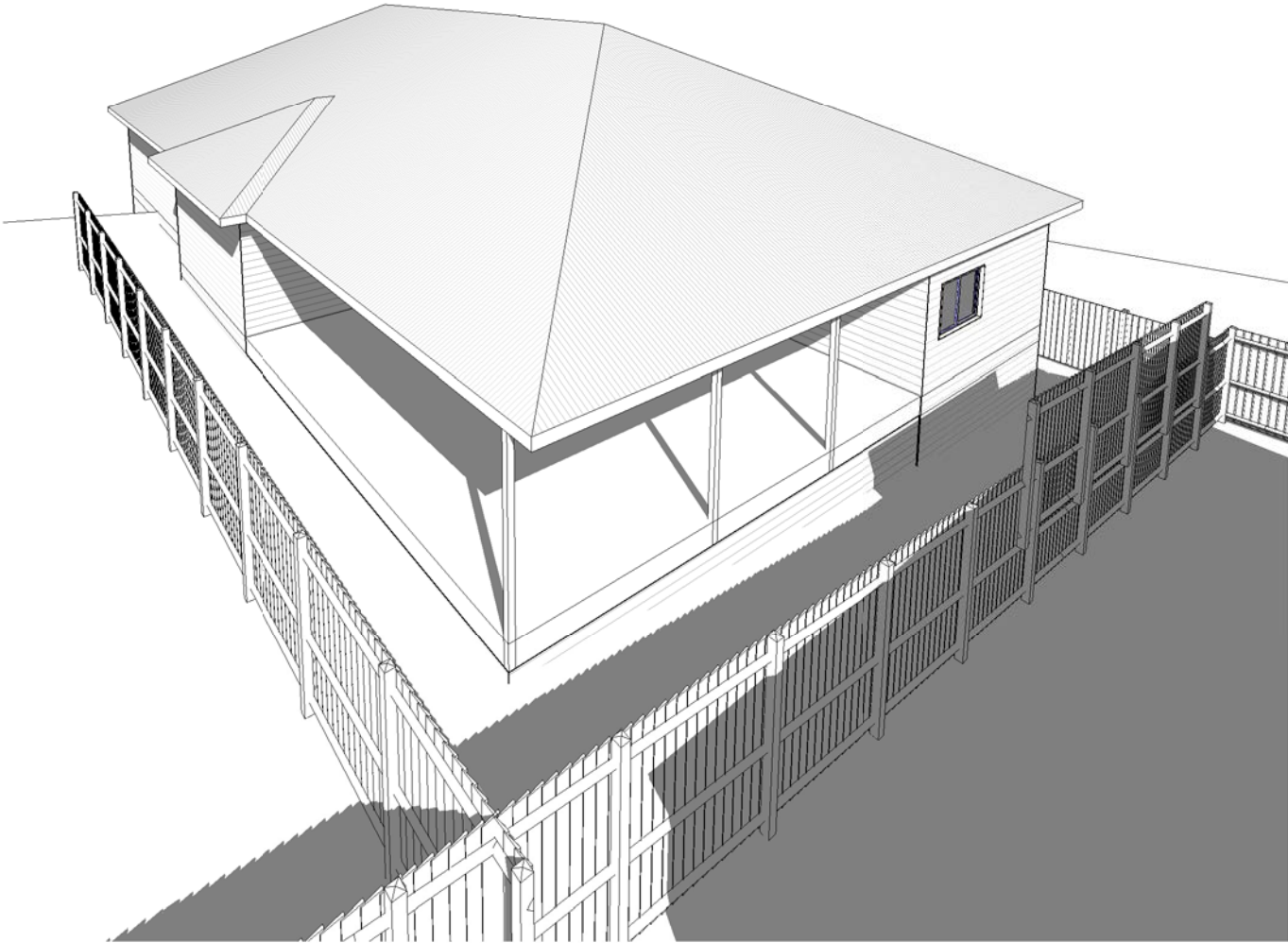
P026



3D VIEWS OF THE SHADOWS ON 30 HARKER ST -10AM



10AM Existing Shadows



10AM Proposed Shadows

ADVERTISED

Revision Schedule		
Revision	Issue:	Date
I	Issue For Planning Permit	03/05/2024
J	Issue For Planning Permit	06/05/2024
K	Issue for Client Comment	19/08/2024
L	Issue for Client Comment	29/08/2024
M	Issue for Client Comment	03/09/2024
N	Issue For Planning Permit	11/09/2024
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P	Issue For Planning Permit	03/03/2025



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Issue For Planning Permit

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CLIENT: Jessica and Simon Terpstra  
PROJECT: Second Dwelling on a Lot + Associated Subdivision: 23-016  
ADDRESS: 7 Ryrie St. Healesville  
DWG TITLE: Shadow Diagrams 3D 10AM  
DATE: December 2024 DRAWN BY: PM SCALE @ A3:

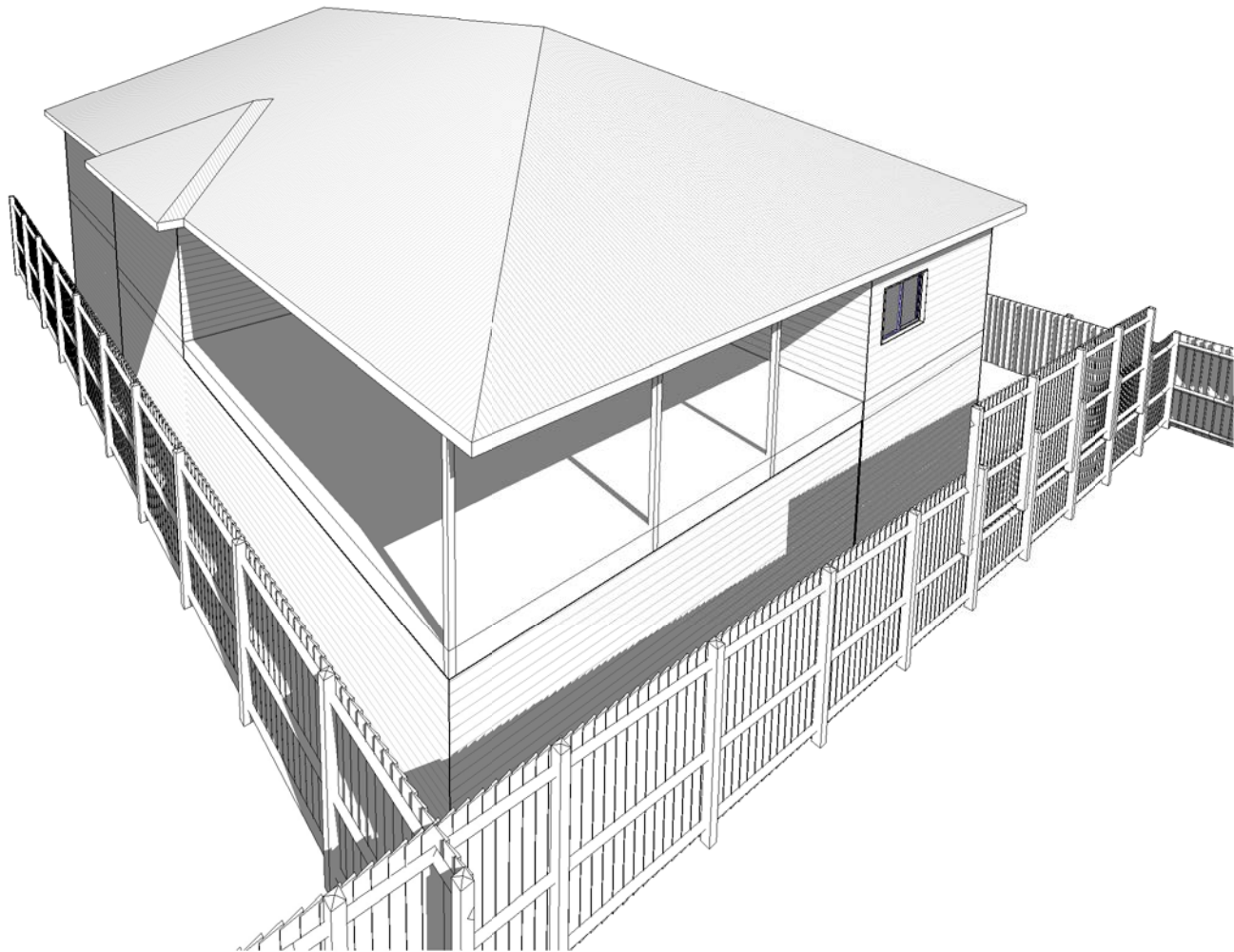
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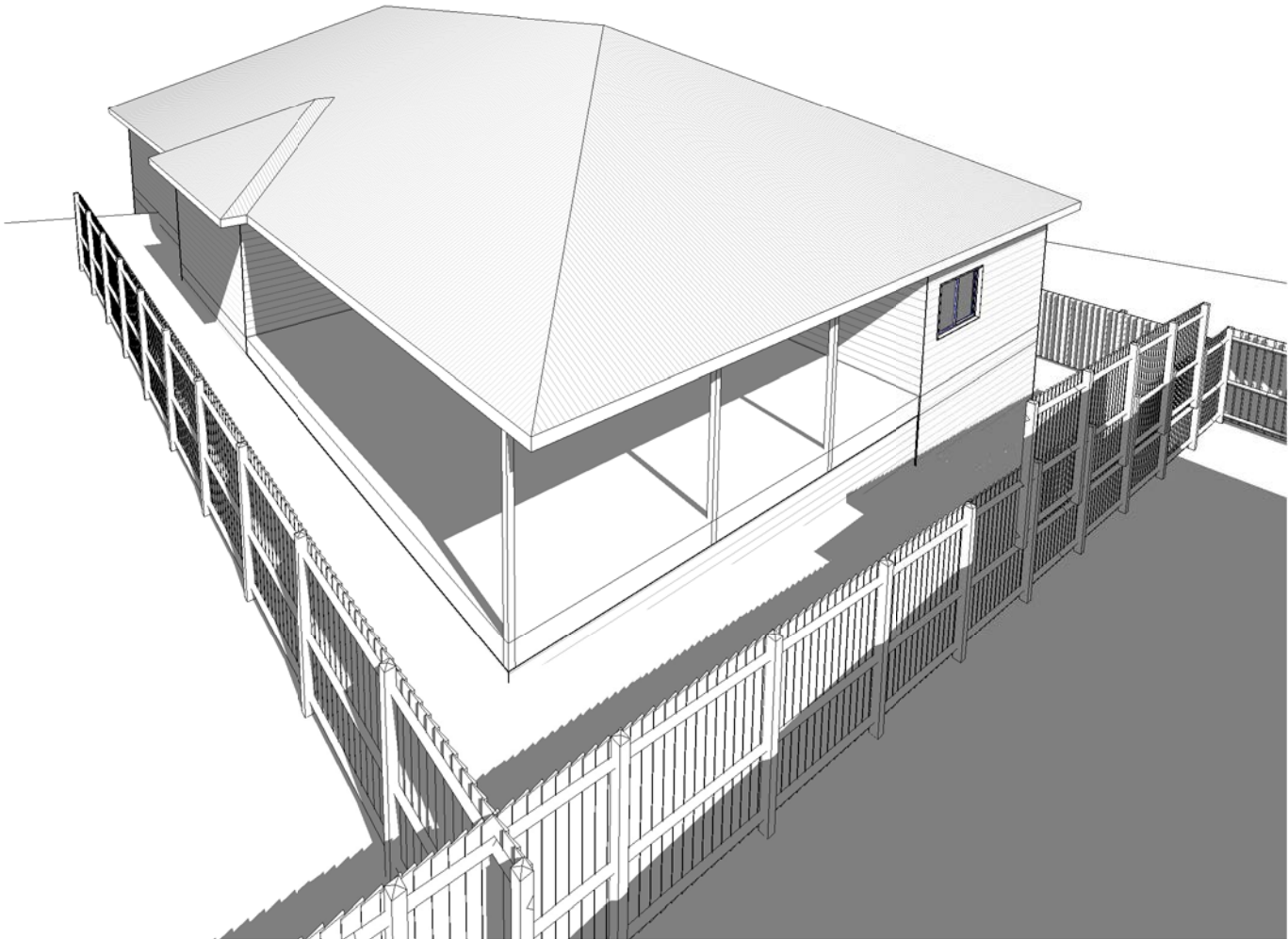
P027



3D VIEWS OF THE SHADOWS ON 30 HARKER ST-11AM



11AM Existing Shadows



11AM Proposed Shadows

ADVERTISED

Revision Schedule		
Revision	Issue:	Date
I	Issue for Planning Permit	03/05/2024
J	Issue For Planning Permit	06/05/2024
K	Issue for Client Comment	19/08/2024
L	Issue for Client Comment	29/08/2024
M	Issue for Client Comment	03/09/2024
N	Issue For Planning Permit	11/09/2024
O	Issue For Planning Permit	03/12/2024
P	Issue For Planning Permit	03/03/2025



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Issue For Planning Permit

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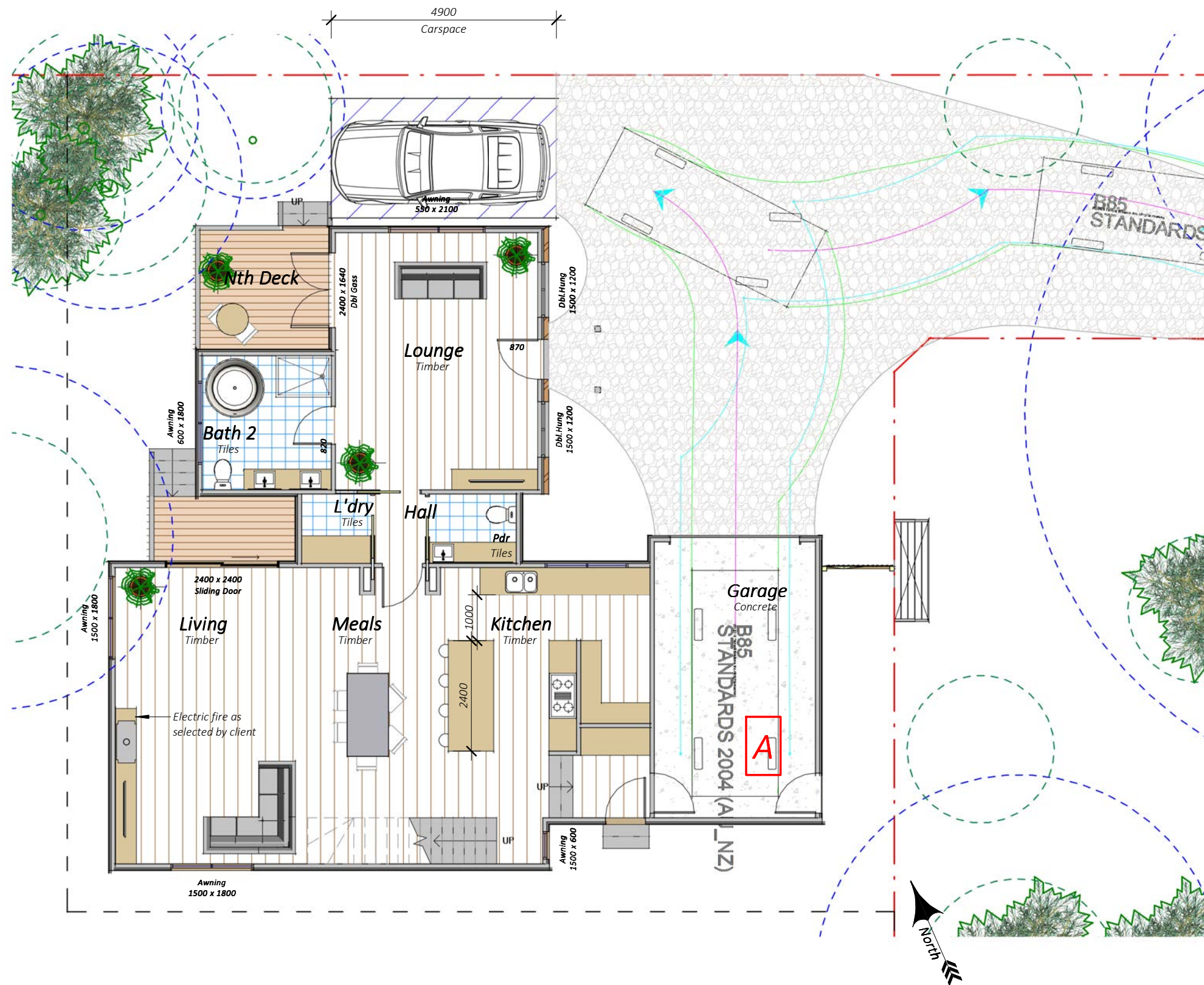
CLIENT: Jessica and Simon Terpstra  
PROJECT: Second Dwelling on a Lot + Associated Subdivision: 23-016  
ADDRESS: 7 Ryrie St. Healesville  
DWG TITLE: Shadow Diagrams 3D 11AM  
DATE: December 2024 DRAWN BY: PM SCALE @ A3:

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SHEET No:

P028






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## Turning Circle A

Scale: 1 : 100

Revision Schedule		
Revision	Issue:	Date
I	Issue For Planning Permit	03/05/2024
J	Issue For Planning Permit	06/05/2024
K	Issue For Client Comment	19/08/2024
L	Issue For Client Comment	29/08/2024
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P	Issue For Planning Permit	03/03/2025



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**CLIENT:** Jessica and Simon Terpstra  
**PROJECT:** Second Dwelling on a Lot + Associated Subdivision: 23-016  
**ADDRESS:** 7 Ryrie St. Healesville  
**DWG TITLE:** Turning Circles U2  
**DATE:** December 2024 **DRAWN BY:** PM **SCALE @ A3:** 1 : 100

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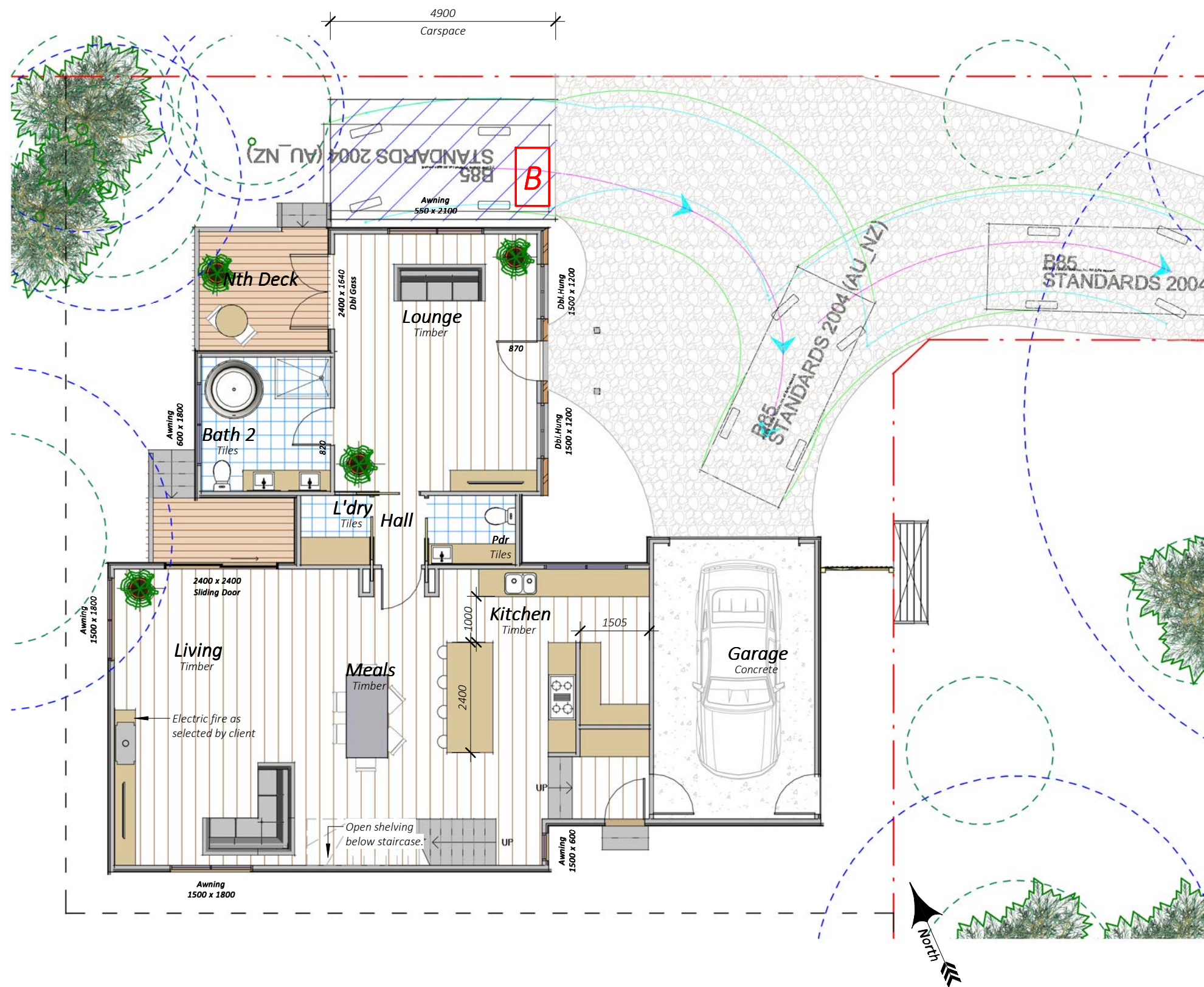
SHEET No:

P029









ADVERTISED

## Turning Circle B

Scale: 1 : 100

Revision Schedule		
Revision	Issue:	Date
I	Issue For Planning Permit	03/05/2024
J	Issue For Planning Permit	06/05/2024
K	Issue For Client Comment	19/08/2024
L	Issue For Client Comment	29/08/2024
M	Issue For Client Comment	03/09/2024
N	Issue For Planning Permit	11/09/2024
O	Issue For Planning Permit	03/12/2024
P	Issue For Planning Permit	03/03/2025



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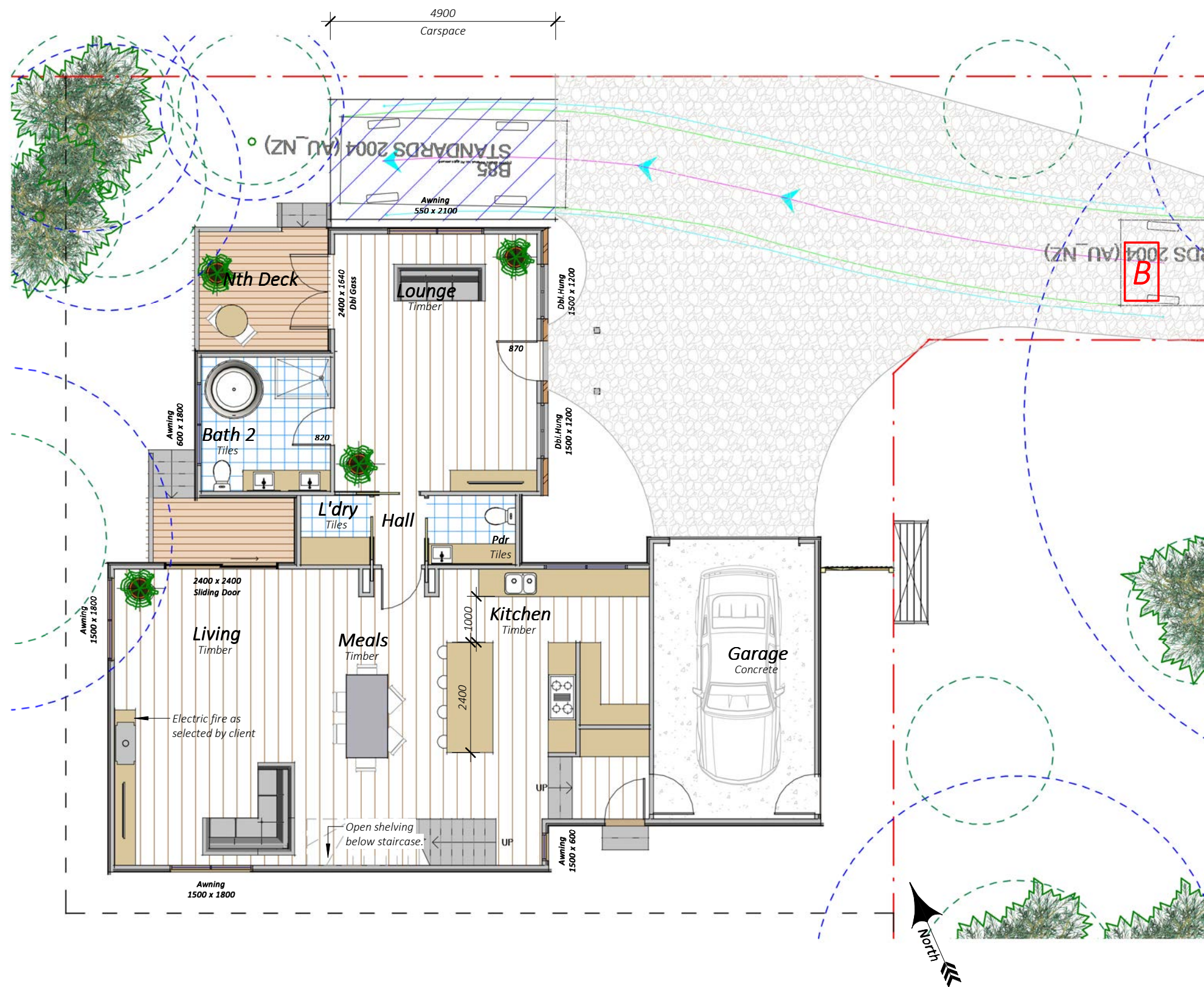
**CLIENT:** Jessica and Simon Terpstra  
**PROJECT:** Second Dwelling on a Lot + Associated Subdivision: 23-016  
**ADDRESS:** 7 Ryrie St. Healesville  
**DWG TITLE:** Turning Circles U2  
**DATE:** December 2024 **DRAWN BY:** PM **SCALE @ A3:** 1 : 100

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SHEET No:

P031





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## Turning Circle B 1

Scale: 1 : 100

Revision Schedule		
Revision	Issue:	Date
I	Issue For Planning Permit	03/05/2024
J	Issue For Planning Permit	06/05/2024
K	Issue for Client Comment	19/08/2024
L	Issue for Client Comment	29/08/2024
M	Issue for Client Comment	03/09/2024
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P	Issue For Planning Permit	03/03/2025



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**CLIENT:** Jessica and Simon Terpstra

**PROJECT:** Second Dwelling on a Lot + Associated Subdivision: 23-016

**ADDRESS:** 7 Ryrie St. Healesville

**DWG TITLE:** Turning Circles U2

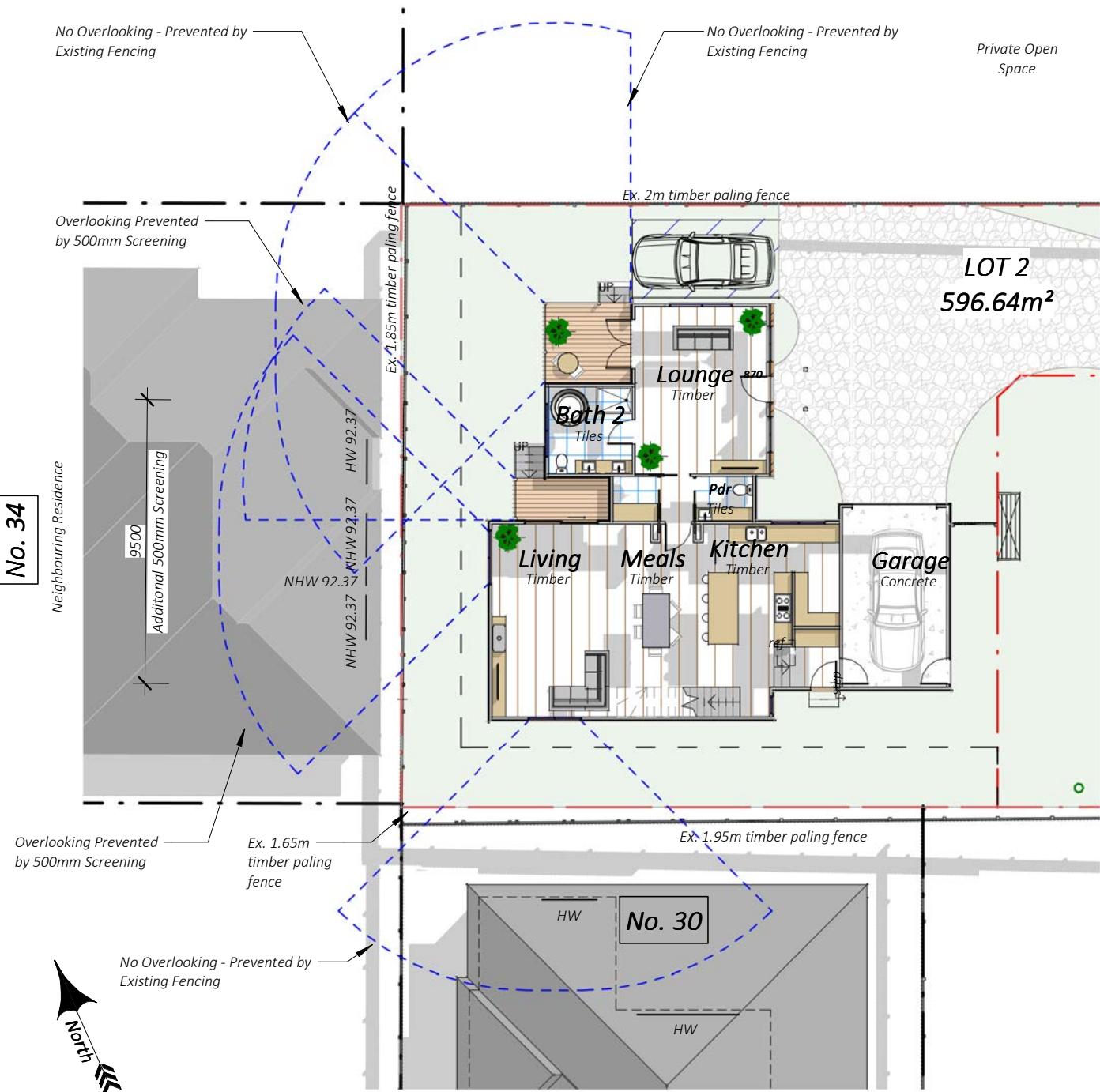
**DATE:** December 2024 **DRAWN BY:** PM **SCALE @ A3:** 1 : 100

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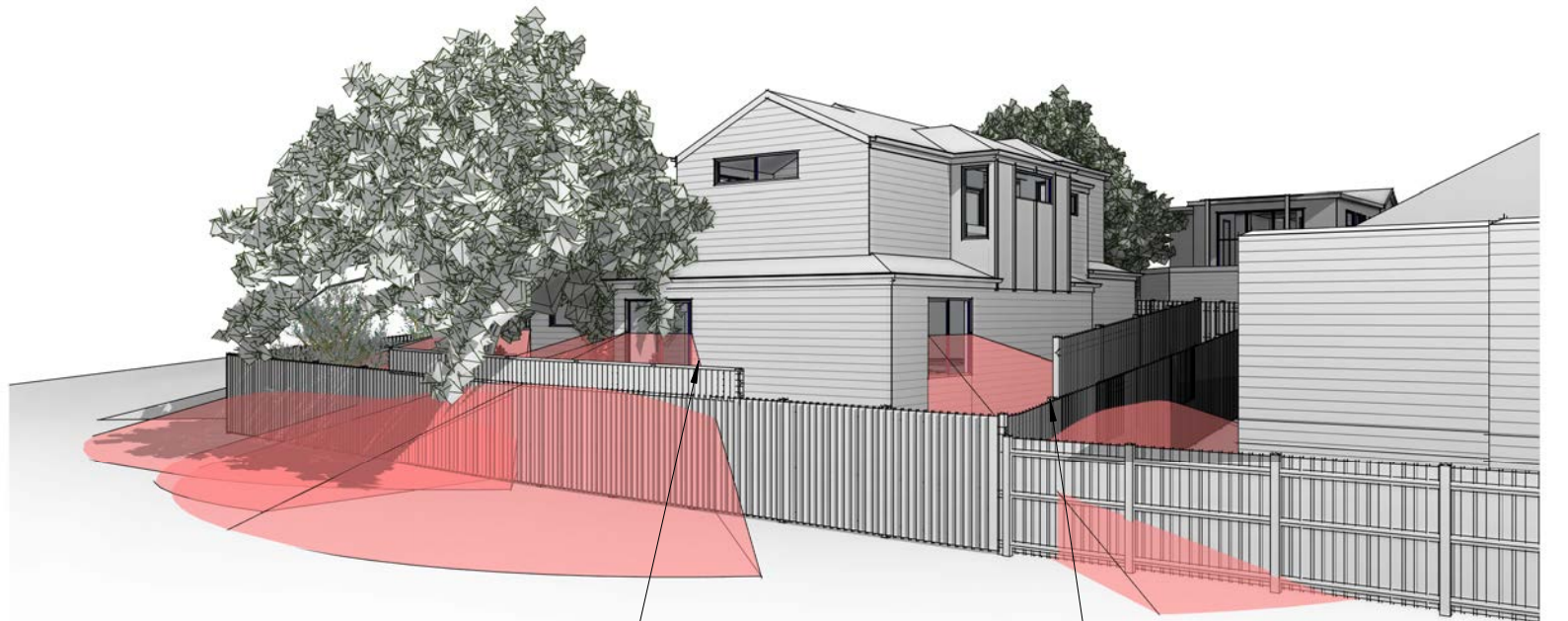
**P032**





Ground Floor Overlooking

Scale: 1 : 200



Revision Schedule		
Revision	Issue:	Date
I	Issue For Planning Permit	03/05/2024
J	Issue For Planning Permit	06/05/2024
K	Issue for Client Comment	19/08/2024
L	Issue for Client Comment	29/08/2024
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O	Issue For Planning Permit	03/12/2024
P	Issue For Planning Permit	03/03/2025



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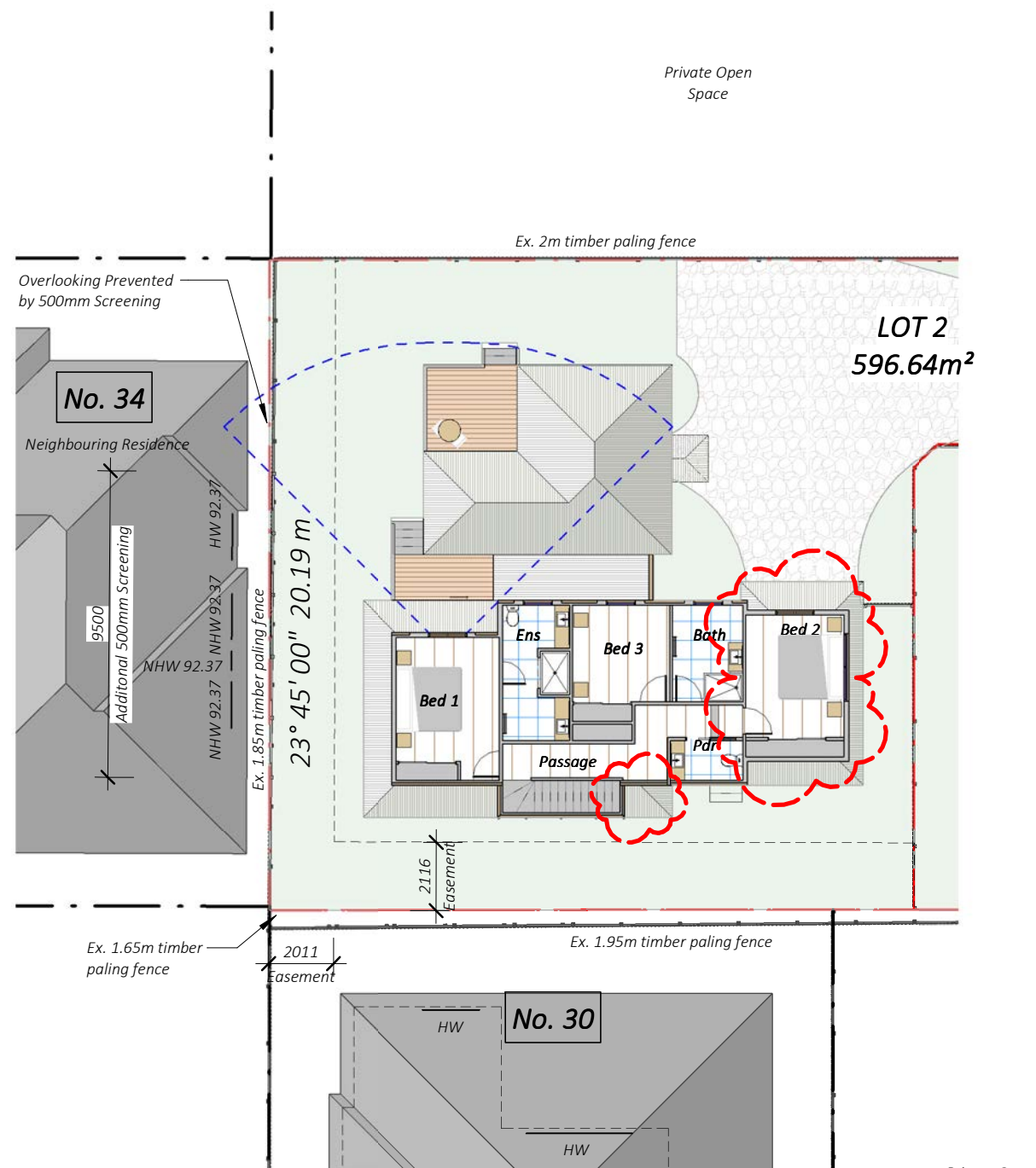
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**CLIENT:** Jessica and Simon Terpstra  
**PROJECT:** Second Dwelling on a Lot + Associated Subdivision: 23-016  
**ADDRESS:** 7 Ryrie St. Healesville  
**DWG TITLE:** Overlooking Ground Floor  
**DATE:** December 2024 **DRAWN BY:** PM **SCALE @ A3:** 1 : 200

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**SHEET No:**  
**P033**





ADVERTISED



1st Floor Overlooking

Scale: 1 : 200



Overlooking Prevented by Existing fencing

Revision Schedule		
Revision	Issue:	Date
I	Issue For Planning Permit	03/05/2024
J	Issue For Planning Permit	06/05/2024
K	Issue for Client Comment	19/08/2024
L	Issue for Client Comment	29/08/2024
M	Issue for Client Comment	03/09/2024
N	Issue For Planning Permit	11/09/2024
O	Issue For Planning Permit	03/12/2024
P	Issue For Planning Permit	03/03/2025



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bdaa  
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ASSOCIATION OF AUSTRALIA

### Issue For Planning Permit

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS WITH SITE CONDITIONS AND REFER ANY DISCREPANCIES TO THE BUILDER/DESIGNER PRIOR TO COMMENCING WORK.  
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WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. ALL ANOMALIES SHALL BE REFERRED TO THE BUILDER/DESIGNER FOR CLARIFICATION BEFORE PUTTING WORK IN HAND.

ALL CARE HAS BEEN TAKEN TO ENSURE THE ACCURACY OF EXISTING CONDITIONS, EXACT SCOPE OF WORKS MAY VARY AS A RESULT OF UNFORESEEABLE FACTORS WITHIN ENCLOSED SPACES OF STRUCTURE OF BUILDING.

**CLIENT:** Jessica and Simon Terpstra

**PROJECT:** Second Dwelling on a Lot + Associated Subdivision: 23-016

**ADDRESS:** 7 Ryrie St. Healesville

**DWG TITLE:** Overlooking 1st Floor

**DATE:** December 2024 **DRAWN BY:** PM **SCALE @ A3:** 1 : 200

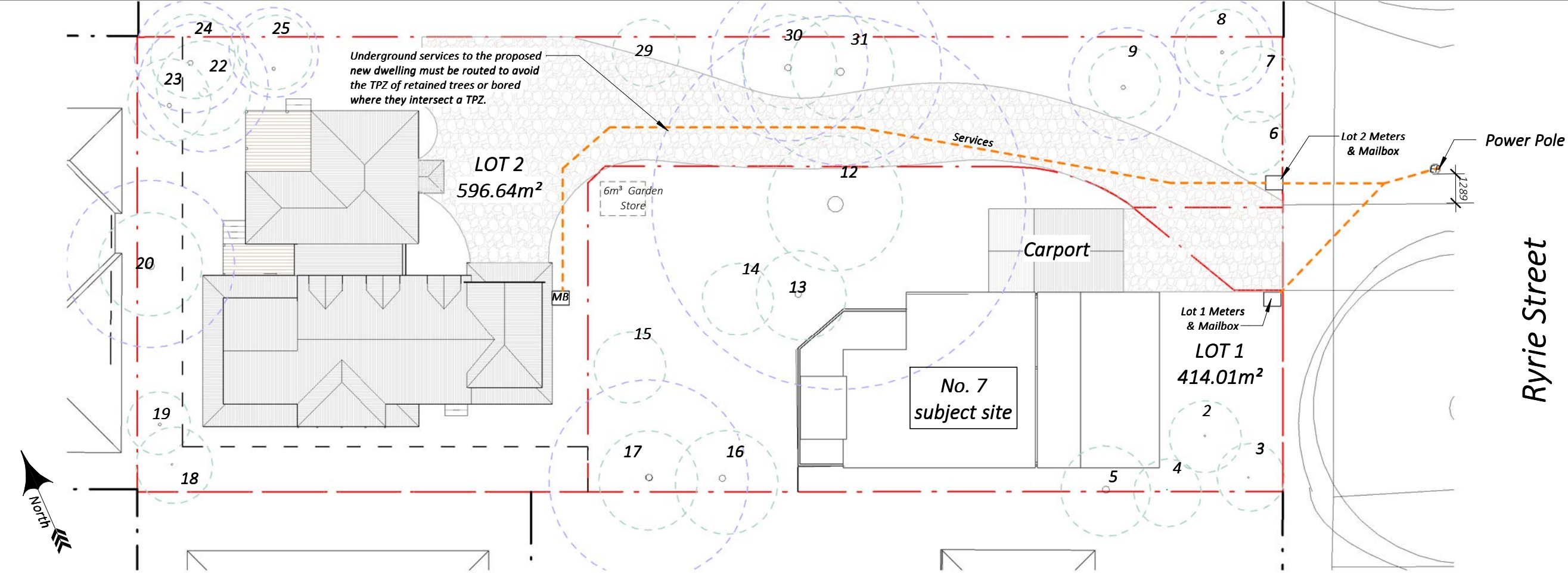
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**SHEET No:**

P034





**\*Refer to below Arborist's clauses & report No. 20230720 for details surrounding running services between protected trees.**

7.2 Encroachment will be primarily associated with the proposed Permeable Paving sealed driveway to the new dwelling. To ensure these trees remain viable landscape elements, the driveway must be a "No Dig" permeable surface where it intersects with the TPZ of a tree as detailed in Figure 1.

7.3. Underground services to the proposed new dwelling must be routed to avoid the TPZ of retained trees or bored where they intersect a TPZ. Open trench excavation within a TPZ is generally discouraged as this results in the severance of roots however, supervised non-destructive excavation (NDD) may be permitted where it cannot be avoided.

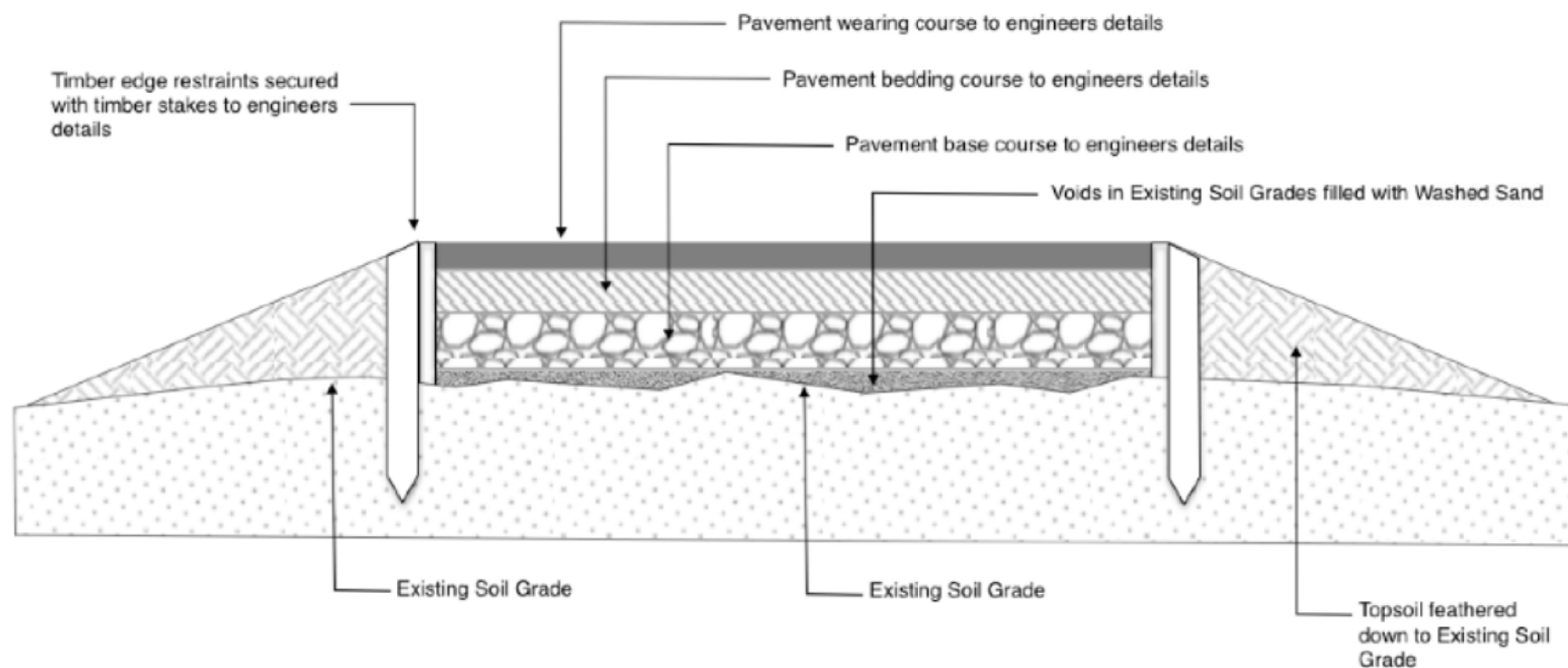
### Legend:

- = Tree Protection Zone
- = Structural Root Zone
- = Protected Tree
- = Existing trees to be removed
- = Services
- HW = Habitable Window
- NHW = Non Habitable Window

**Planning Issue  
Not for Construction**

Typical 'No Dig' Pavement Profile Section (Not to Scale)

Figure 1



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**CLIENT:** Jessica and Simon Terpstra **DRAWN BY:** PM

**PROJECT:** Second Dwelling on a Lot + Associated Subdivisic23-016

**ADDRESS:** 7 Ryrie St. Healesville

**DWG TITLE:** Services Plan

**DATE:** December 2024 **SCALE @ A3:** As indicated

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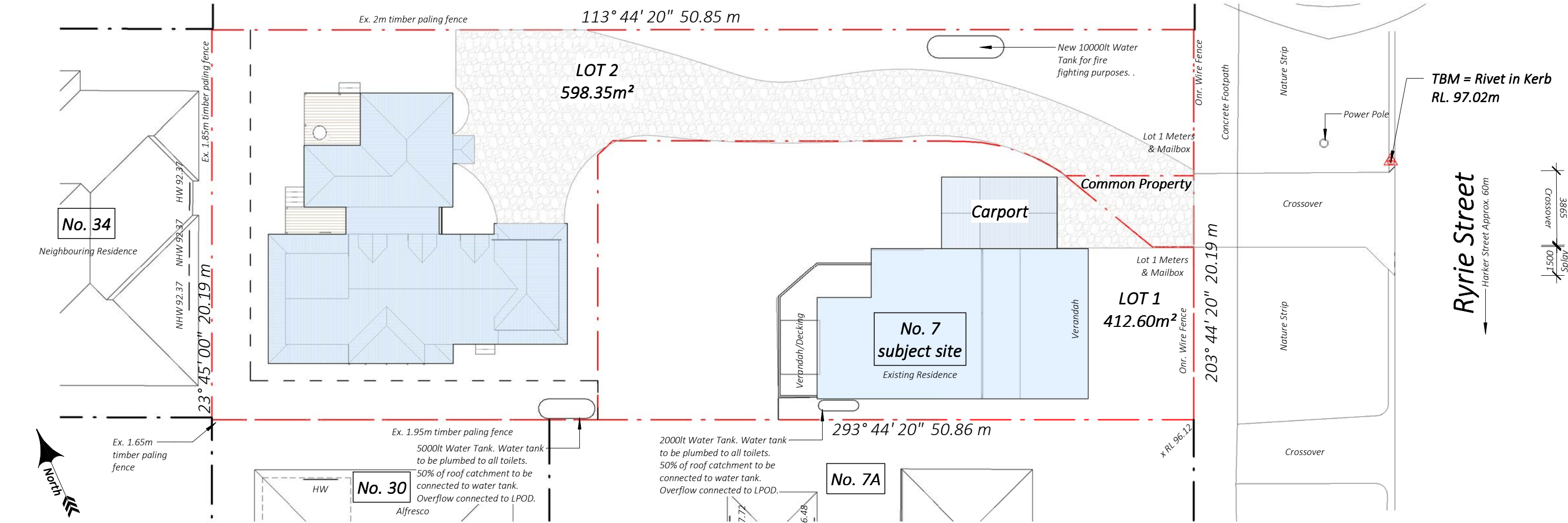
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**SHEET No:**

**P035**





Stormwater Plan

Scale: 1 : 200

Melbourne Water STORM Rating Report

TransactionID: 0  
Municipality: YARRA RANGES  
Rainfall Station: YARRA RANGES  
Address: 7 Ryrie St  
Healesville VIC 3777  
Assessor: Meenks Ink Design  
Development Type: Residential - Subdivision  
Allotment Site (m2): 1,026.82  
STORM Rating %: 100

ADVERTISED

- [Dark Grey Box] = Roof catchment to rainwater garden
- [Light Blue Box] = Roof catchment to water tank
- [Medium Grey Box] = Inground rainwater garden
- [Cross-hatched Box] = Planter box rainwater garden
- [Blue Box with Diagonal Line] = Rainwater Tank

Stormwater Legend

Scale: 1 : 200

Description	Impervious Area (m2)	Treatment Type	Treatment Area/Volume (m2 or L)	Occupants / Number Of Bedrooms	Treatment %	Tank Water Supply Reliability (%)
Ex. Dwelling to tank	102.44	Rainwater Tank	2,000.00	1	70.40	100.00
U1 Carport to tank	22.14	Rainwater Tank	2,000.00	1	172.00	82.00
New Dwelling to tank	146.57	Rainwater Tank	5,000.00	3	110.30	97.90

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CLIENT: Jessica and Simon Terpstra

DRAWN BY: PM

PROJECT: Second Dwelling on a Lot + Associated Subdivisic23-016

ADDRESS: 7 Ryrie St. Healesville

DWG TITLE: Stormwater Layout Plan

DATE: December 2024

SCALE @ A3: 1 : 200

Issue For Planning Permit

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SHEET No:

P036

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Matters**  
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Design**

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0427 008 190

**CLIENT:** Jessica and Simon Terpstra **DRAWN BY:** PM  
**PROJECT:** Second Dwelling on a Lot + Associated Subdivisic23-016  
**ADDRESS:** 7 Ryrie St. Healesville  
**DWG TITLE:** Views to and from the site  
**DATE:** December 2024 **SCALE @ A3:**

### Issue For Planning Permit

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SHEET No:

P037

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